



**CROSSWATER**

# DESIGN GUIDELINES

Adopted by the Design Review Committee  
Revisions approved by the Crosswater Board of Directors  
November, 2007

CROSSWATER OWNERS' ASSOCIATION, INC.

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## **1. FORWARD**

These Design Guidelines have been created to ensure that all improvements designed and constructed at Crosswater preserve the natural beauty of the existing landscape, maintain a unified design theme, and protect property values.

These Guidelines are supplemental to the Declaration of Covenants, Conditions and Restrictions (CC&R's) for Crosswater first recorded on July 21, 1994 in Deschutes County, Oregon. The Guidelines are to be used by all owners of homesites and their designers, to govern new development, additions, remodeling, landscaping changes, and any alterations to previously approved plans at Crosswater. The Guidelines will be administered and enforced by the Design Review Committee (the "Committee") in accordance with procedures set forth in this document and the CC&R's.

This document was adopted by the Committee on August 10, 1995 and may be amended from time to time by the Committee. This revision of the Guidelines is dated November, 2007. It is the responsibility of each Owner to obtain and review a copy of the most recently revised Design Guidelines prior to submitting plans to the Committee for review.

## **2. GOVERNING REGULATIONS**

All development shall conform with the following:

The most recent version of this document in effect on the date that the Owner's first, complete Schematic submittal or remodeling application is made to the Committee;

The Declaration of Covenants, Conditions and Restrictions for Crosswater;

All applicable Deschutes County Ordinances, Regulations, Overlay Zones, and Codes;

Applicable Local, State and Federal Codes and Regulations.

### **3. CROSSWATER AT SUNRIVER**

#### **3.1 DESIGN PHILOSOPHY**

Crosswater was carefully planned to be respectful of and to protect its extraordinary setting on the Deschutes River and the Little Deschutes River. Crosswater is situated in the transitional zone between the arid High Desert of Eastern Oregon and the snow and glaciers of the Cascade Mountains. Crosswater contains expansive meadows and experiences some of the climatic characteristics of both the alpine and arid deserts.

It is the intent of the developers of Crosswater that the riverine character of the site is protected and that any developments occur with minimal disturbance. Equally important is the need for effective water conservation and protection, wildlife protection and management, and protection from the potential for wildfire, which could destroy the beauty of this setting through careless neglect or irresponsibility.

It is therefore, the purpose of the following Design Guidelines, to ensure that the full potential of living along the Deschutes River ecosystem is realized and that the Master Plan for Crosswater is carried out with attractive residential and landscape improvements that are compatible with its unique setting.

The Design Guidelines are administered and enforced by the Committee. They are binding upon all persons who construct, refinish, add to, or alter any part of the exterior of any building or make landscape or other improvements upon, under, or above any property, create fill, make any change in the existing surface contour or drainage, or install any utility line thereon. In addition, all such persons must comply with the Deschutes County regulations, and the Crosswater Declaration of Covenants, Conditions, and Restrictions.

In general, the aim of the Committee is to avoid harsh contrasts in the landscape, to preserve key view corridors, to encourage design appropriate to the region, and to foster harmony between buildings and their sites and among the buildings themselves.

Each building site at Crosswater has unique characteristics and these Guidelines have been prepared taking into consideration the design opportunities and constraints unique to each site. Residential homesites are conveyed to individual buyers subject to deed restrictions and covenants which are designed to create patterns of land development and to ensure that all residences are designed to conform to these overall design principles.

Each residential homesite has been evaluated by a landscape architect. This analysis is referred to as the Site Analysis Plan. A building Envelope has been designated as well as an access corridor for the driveway. Building Envelopes are included and made a part of these Design Guidelines.

Presented in the pages that follow are standards that describe the design review process and provide direction and assistance to Owners with respect to design considerations. Modifications to these guidelines can be made by Owners only if it can be demonstrated that the overall intent is being adhered to and such changes are approved by the Committee.

The Design Guidelines however, may be amended from time to time to reflect new experiences and to accommodate changing conditions. Modifications to these Guidelines can be made only if it can be demonstrated that the overall intent is being adhered to.

It is essential that Owners who are contemplating activities covered by this booklet obtain the most recent version.

### **3.2 THE SETTING**

Crosswater is located in a very unusual landscape. It is the transitional zone between the Great Basin Desert, the largest in North America, and the glaciated Cascade Mountain Range, an alpine region which protects Crosswater from moisture laden Pacific storms. The convergence of two unique rivers and the large areas of meadow further enhance the setting.

As such, this landscape includes the flora and fauna of both desert and mountain. Its geologic history of volcanism has created landforms, which have caused intermittent and temporary dams on the Deschutes River system. As a result, Crosswater has a unique riverine life zone within a semi-arid climate. The rivers meander, creating great ox-bows, meadows, and marshes. The visual effect is exceptional - clear, free flowing river in the foreground, followed by intermittent meadow and forest with snow covered peaks in the background.

Crosswater is located in the montane life zone, sometimes referred to as the semi-arid transition zone. The montane is characterized by drought resistant forests of Ponderosa and Lodge Pole Pine; wetlands supporting Aspen, Willows and Cottonwood; and

under story of Sage Brush, Bitterbrush and Manzanita; and a wide variety of alpine and desert wildflowers depending upon the season.

The high Cascades to the west of Sunriver and Crosswater greatly affect the area's climate. Average annual precipitation at Sunriver is about 19 inches. Annual cumulative snowfall averages 60 inches per year, which represents approximately one-third of the total moisture. Annual snowfall accumulation varies dramatically. In 1992, snowfall totaled 13 inches whereas in 1993 it amounted to 132 inches. Approximately 65 percent of the moisture occurs during the five-month period of November through March. Summers are characterized by long dry periods, warm days and cool nights.

It is these characteristics of the setting that are the genesis of the Crosswater Home, with its steep roofs, timber frames, and covered porches reminiscent of the homes and lodges designed to withstand the snows of the lower mountain regions while providing for the enjoyment of the temperate Springs and Summers.

## **4. THE CROSSWATER DESIGN REVIEW PROCESS**

As an owner at Crosswater, you should follow the steps outlined below if you plan to construct a residence.

### **4.1 GET TO KNOW THE CROSSWATER SITE**

A residence at Crosswater should reflect the locale, creating a living environment that responds to the individual site while conforming to the overall character of all Crosswater homes. Because conditions may vary throughout the development, you should get to know the entire project and your homesite. Walk the area, experience the views, and consider the intentions of the master developer as reflected in the site plan. Together, these elements will help to shape the orientation and design of your future residence. Also review these Design Guidelines and acquaint yourself with all of the other documents that serve to regulate and guide the development at Crosswater.

### **4.2 CHOOSE AN ARCHITECT**

A licensed architect must design your residence at Crosswater, however, based on the design professional's qualifications and past work, the Committee may, at its sole discretion, waive this requirement on a case by case basis. The addition of specialized design skills and an understanding of site and environmental possibilities can be of major importance in realizing the special character and quality you want in your residence. Be sure that your architect reads the Design Guidelines and becomes familiar with this document. In addition, your architect should be aware and follow the documents referred to in the Governing Regulations.

### **4.3 PRE-DESIGN CONFERENCE**

You and your architect are highly encouraged to meet with the Committee to discuss your particular site and identify any important concerns prior to preparing a Schematic Plan or any proposed improvements for your homesite. This meeting will provide you with guidance prior to the initiation of design work and will acquaint you with the expectations of the Committee with respect to general design quality and standards required at Crosswater. Pre-Design conferences are also recommended for any major remodeling additions or alteration project. A Pre-Design Conference may be scheduled with the Secretary of the Design Review Committee.

#### **4.4 SCHEMATIC PLAN**

After a thorough review of the Design Guidelines, individual lot envelope study, and the optional Pre-Design Conference, it is time to have your architect prepare a Schematic Plan (Preliminary Plan) for your homesite. The purpose of this plan is to communicate to the Committee your design intentions. This important early review is to ensure that your initial design conforms with the concepts contained in these Design Guidelines. An early response by the Committee is intended to avert wasted time and professional fees that result from pursuing a design that is in conflict with the Design Guidelines. The Schematic Plan Submittal must include the application form Appendix E, and the appropriate submittal fee.

The Schematic Plan submittal shall include six complete sets of the following:

- A. Written explanation of the design approach
- B. Graphic explanation of the design concept through a site plan (1"=10'0") indicating the Crosswater approved building envelope location (including driveway) and building envelope percentage calculation, floor plans (1/4"=1'0"), all building elevations (1/4"=1'0"), roof plan (1/4"=1'0"), noting all desired exterior building materials, character of the proposed structure and any unique landscape features, i.e. spa, water feature (1"=20'0").

The graphic submittal can be in any medium, but must be clearly labeled with pertinent information including the document date and sheet or page number, homesite number, name, address and telephone number of the Owner and Architect. The complete Schematic Plan and application fee is to be submitted to the Secretary of the Committee on or before the 1st or the 15th of the month. Allow 15 days from the 1st or the 15th for a written response from the Committee. The Committee may extend its response time if the Committee deems the submittal incomplete.

In the event that the Schematic submittal is denied, and the re-submittal is also denied, additional re-review fees will be charged for each additional submittal in accordance with the schedule in Appendix I.

## 4.5 DESIGN DEVELOPMENT

The Design Development Plan (final plan) submittal shall include six complete sets of the following:

- A. Site Plan (presented at a minimum of 1'=10'0")

Indicate proposed building footprint, roof line, property boundaries and easements, utility locations (including connection to the Crosswater subsurface drainage system, if applicable), utility meter locations, existing vegetation, water feature locations, existing and proposed one foot contours, areas of cut and fill, drainage, proposed roads, driveways, trails, bridges, decks and any other proposed improvements. Indicate scale and north direction; take special precaution to clearly indicate how surface and subsurface drainage (if appropriate) is to be handled.

- B. Vicinity Plan (presented at a minimum of 1"=50'0")

- C. Floor Plans and Roof plans (presented at a minimum of 1/4"=1'0")

- D. Exterior Elevations and Details (presented at a minimum of 1/4"=1'0")

Indicate the exterior appearance of all views, usually four, labeled in accordance with the Site Plan, the height of chimneys, natural and proposed finished grades for elevations of all views, the heights of ridge lines above existing and proposed finished grades, all roof penetrations including skylights, all flues and plumbing vents, foundation vents and all above ground utility meters and boxes with required visual screening.

Describe all exterior materials, colors and finishes (walls, roofs, trim, chimneys, windows, doors, foundation vents, light fixtures etc.). The elevation drawings should indicate material textures.

Provide design details to sufficiently represent the visual expression of the building, exposed connections and material interfaces.

E. Building Sections (presented at a minimum of 1/4"=1'0")

Indicate building walls, floors, roof eaves and fascia detail, deck railing, interior relationships, existing and finished exterior grades and any other information to clearly describe the exterior relationships of the building.

F. Sample Board (24" x 36" and at least 1/8" thick) and a written summary.

The Committee will retain this sample board. The sample board must be marked with the owner's name and address. Samples must be identified with the manufacturer's name, color and/or number, model types or other relevant identifying information.

Provide an 8 1/2" x 11" typed summary that clearly states the manufacturer's colors, style, brand names or other identifying information for proposed materials shown on the board for the Committee's permanent records.

The board should depict:

1. Roof and flashing materials and colors
2. Wall materials and colors
3. Exterior trim materials and colors
4. Fireplace materials
5. Window materials and colors
6. Exterior door material and color
7. Samples of stone/rock and mortar to be used
8. Exterior light fixtures, artwork and hardware
9. Walkway and driveway materials if other than asphalt or concrete
10. Photos are helpful

G. Landscape Plan (presented at a minimum of 1"=10'0") to indicate:

1. Proposed plant materials (names, sizes, quantities)
2. Existing plant materials (names and sizes); Note that general descriptions using words like "such as" will not be accepted
3. Indicate locations of existing plant materials proposed to be removed including size and species

4. Decks, pavements, service yards, driveways, other freestanding structures
5. Locations for outdoor lights, address sign monument and added rockery or boulders
6. Complete irrigation plan, and
7. Wild fire prevention plan
8. Proposed spa locations and required visual screening

See Appendices B and C for lists of approved plant materials; only plant materials shown on the approved lists may be used in Crosswater noting that plant materials noted in Appendix B and C may be used inside and outside the envelope, but plant materials in Appendix C may not be used outside the building envelope.

- H. A printed Construction Schedule (may be graphic such as a Gant Chart or worded.) Include starting and completion dates of the residence, as well as the landscape work.
- I. Site Staking. Prior to submittal, the site shall be staked as further described below.

The submittal shall include a site-staking plan showing all building corners, driveways, and other improvements. In determining the proper location for each improvement, the Committee shall consider the location of existing and future improvements on adjacent sites and such other economic or aesthetic considerations as it may deem appropriate.

The following provisions shall be complied with:

1. The improvements shall be defined with 4-foot wood or steel stakes and the primary corners shall be identified as N.E., N.W., S.E., and S.W. corners. The outline of the improvement may be required to be marked by string or ribbon, or construction paint on the ground between corner stakes. Side and front parcel lines may also be required to be marked in a similar manner. The existing grade, proposed grade and main floor elevation of the structure shall be clearly marked on the building corner stakes.
2. All property corners shall be clearly marked.
3. Stakeout inspections shall only be conducted at a time when the site is free from snow.

4. Driveway locations will be staked at each side of the drive at 10-foot intervals from the access road to the site.
5. In addition to the access to the proposed residence, all other improvements shall be staked.

The Complete Design Development Plan and application fee is to be submitted to the Secretary of the Committee on or before the 1st and the 15th of the month; allow 15 days from the 1st or the 15th for a written response from the Committee. The Committee may extend its response time as appropriate if the Committee deems the submittal to be incomplete. The Design Development Submittal must include the application form Appendix F, and the appropriate submittal fee.

The Committee will review the Design Development submittal in detail for compliance with the previously approved Schematic Plan and to ensure that it meets the intent of the Design Guidelines. Although modification to the Design Guidelines may be approved in certain instances, this will be the exception rather than the rule. You must thoroughly document the logic or hardship justifying any requested exception. Should the design be in substantial variance with the general intent of the Design Philosophy for Crosswater and the previously approved Schematic Plan, or violate any of the Design Guidelines, disapproval may result and a revised submittal correcting these problems will be required.

In the event a Design Development submittal is denied, and the subsequent revised Design Development is also denied, additional re-review fees will be charged for each additional submittal in accordance with the schedule listed in Appendix I.

Committee approval is valid for 12 months from the date of each approval, which includes new construction, remodeling and landscaping. Prior to the end of the 12 months owners may apply for an extension of time. If construction has not begun within that time or an extension has not been applied for (or consent is revoked) a new application must be made and all previous fees and deposits will be forfeited.

#### **4.6 REMODELING, ADDITIONS OR ALTERATIONS**

Remodeling and additions to existing homes and improvements are required to meet the same criteria as new construction. All criteria concerning existing approved building envelopes, architecture, location and any other criteria deemed significant will be considered by the Committee. A Pre-Design conference with the Committee

is strongly recommended for any remodeling project and approval by the Committee is required prior to any exterior alteration.

The Remodeling Plan Submittal must include application form Appendix G; a written explanation of the Design approach and appropriate plans noted above in Section 4.5. Additionally at this time you must submit the appropriate submittal fees and construction deposit noted in Appendix I. This includes any necessary landscape revisions. Any landscape disturbed during a remodeling project must be restored to the approved landscape plan on record for that residence.

Each additional submittal will be reviewed by the Committee and the Committee consultants and will require additional fees. Also all construction regulations in Section 8 will be enforced during any remodeling project.

A final inspection is required on any approved alteration as is noted in Appendix J. After final inspection and after all Guideline requirements have been met, any construction deposit that was submitted will be refunded.

#### **4.7 BUILDING PERMIT**

Upon approval of your Design Development plans by the Committee, you must obtain a Building Permit from Deschutes County. Owners are advised that the County may have certain additional submittal requirements, which have to be met before issuance of a Building Permit.

#### **4.8 BUILDING ENVELOPE SURVEY**

Prior to beginning construction on your homesite, a registered survey is required of all property lines, the approved Building Envelope, and the driveway. A copy of this survey must be submitted to the Design Review Secretary prior to construction.

#### **4.9 ON-SITE INSPECTIONS**

During construction of your residence, the Committee Staff and Committee Members will conduct periodic inspections. It is the responsibility of the Owner to ensure that construction conforms to the plans, and all Crosswater construction rules.

#### **4.10 PROJECT COMPLETION REVIEW**

To ensure that the completed residence is consistent and in accordance with the approved Design Development submittal, a Project Completion Review will be required. You should inform the Secretary of the Committee within 10 days of the County Occupancy Permit inspection that a Project Completion Review is requested. The Committee will respond within 14 days of receipt regarding the conformance or non-conformance of the residence and site construction. The construction deposit that was actually paid in accordance with Appendix I of the Design Development submittal will be refunded after compliance with Design Development Plans is established and after any uncollected fines or reimbursements for uncorrected damage to Crosswater property have been deducted.

#### **4.11 CHANGES IN PLANS**

No significant changes in plans or materials previously approved by the Committee may be undertaken without advanced written Committee approval. Once the residence is complete, no work shall be undertaken (other than routine maintenance and repair) which will result in changes to the exterior building appearance, or landscape improvements, without prior written approval of the Committee.

#### **4.12 CERTIFICATE OF OCCUPANCY**

Upon completion of the dwelling and homesite improvements, and prior to the final inspection the Owner will furnish to the Secretary of the Committee, a copy of the Deschutes County Certificate of Occupancy.

## **5. SITE DESIGN GUIDELINES**

To help the Owner and Architect design residential structures that are compatible with the project intent and setting, a number of site, architectural and landscape guidelines have been prepared. These requirements must be addressed at the Schematic Plan stage; however, certain provisions may be modified by the Committee upon a showing by the Owner and/or Architect that the basic intent of Crosswater will not be affected by minor modifications.

### **5.1 GENERAL DESIGN CONSIDERATIONS**

At Crosswater, the harmonious integration of new residential construction and landscape improvements with the natural landscape is of paramount importance. The intent of this section is to ensure that adverse impact to the land is minimized as a result of careful siting of improvements combined with the creation of natural areas, which will remain free of disruption. These steps, together with the incorporation of certain performance standards and management programs will aid in maintaining the current rural ranch character of the desert/alpine setting.

### **5.2 LAND USE CATEGORIES**

The residential areas of Crosswater are divided into the following land use categories:

- A. Common Area  
The area designated on the subdivision plat that has been conveyed to the Association for the use and benefit of all Owners and Residents at Crosswater, together with all improvements constructed thereon.
  
- B. Private Owner Parcels  
The area within the subdivision plat, which is privately owned, commonly referred to as an Owner's homesite. Other private parcels include the Crosswater Golf Course Turf Management Facility, the Crosswater Clubhouse, and the Crosswater Condominium site.
  
- C. Building Envelope  
Also known as the building site, this is an area designated on each homesite that shall be for the exclusive use of the homesite Owner, within which building may occur subject to the Design Guidelines. Modifications to the Building Envelope may be approved by the Committee (fee and permit information

in Appendix I) upon presentation of evidence by the Owner and/or Architect that the modifications will not adversely impact the adjacent neighbors and are generally consistent with the intent of these Design Guidelines and the conditions of approval from Deschutes County. The Site Analysis Plan also includes a designated corridor for the driveway.

### **5.3 BUILDING ENVELOPE AND SETBACKS**

Homesite improvements including building, accessory buildings, walls and fences and recreational improvements must be placed within the Building Envelope unless specific modification is approved in writing by the Committee as further described below. The Committee may, at its discretion, approve paver patios that are flush to the ground, outside the Building Envelope, however raised decks and patios must be located inside the approved Building Envelope. Landscaping may occur outside the Building Envelope subject to the Landscape Guidelines. The designated Building Envelopes generally shall be subject to the following setbacks, (but do vary from lot to lot):

- A. Front yards adjoining the street: 40 feet
- B. Side yards: 25 feet
- C. Rear yards: 25 feet

Exceptions to the above setbacks are detailed on the respective Site Analysis Plans.

### **5.4 BUILDING ENVELOPE CHANGES**

Changes in designated Building Envelopes may be requested prior to Schematic Plan Submittal using the attached application Appendix H along with a fee of \$250.00. If the Committee believes the request is worthy of consideration, the Owner will be informed and it will be the responsibility of the Owner to justify the request graphically and in writing at the time of the Schematic Plan review. The Building Envelope may be modified only with the written approval of the Design Review Committee provided:

- (1) The area of the Building Envelope does not exceed 35 percent of the total area of the lot; and
- (2) The Owners of lots within 100 feet of the boundaries of the lot at issue shall be

given reasonable notice of any proposed modification which would increase the area of the Building Envelope prior to consideration by the Committee (unless the Committee determines that emergency circumstances warrant immediate action). The Committee may consider the concerns of adjoining homesite Owners as well as other factors the Committee deems relevant in determining whether or not to approve the envelope adjustment.

Under certain circumstances, County approval of any Building Envelope changes may be required.

Upon approval of changes to the Building Envelope, the Owner may be required to pay the cost of revising the Site Analysis Plan if the Committee deems it necessary.

## **5.5 DRIVEWAYS**

Driveway intersections with Crosswater's roads have been located on the Site Analysis Plan. The construction and maintenance of driveways shall be the responsibility of the individual homeowner. However, materials used in driveways and the course traversed by the driveway within the site are subject to approval by the Committee. No more than one driveway intersection with the adjoining road per residence will be approved.

Driveways shall be a maximum of 12 feet wide, running from the access road to the building envelope for the residence and the first 18 feet must be perpendicular to the road. Driveways shall be constructed of asphalt or other material approved by the Committee. The only approved access for construction of a residence will be over the approved driveway for the homesite.

## **5.6 GARAGES AND PARKING SPACES**

Garages must be architecturally integrated with the residential design of the main building. They may be either attached or detached. Each home must have an enclosed garage for at least one car. Each home must have a minimum of two guest parking spaces. Landscaping must appropriately screen any glare of headlights in the guest parking spaces, from adjacent homesites and roads. Trailers, motor (mobile) homes, trucks, boats, boat trailers, tractors, vehicles other than automobiles, campers not on a truck, snow removal equipment, and garden or maintenance equipment shall be prohibited unless it can be kept in an enclosed structure or screened from view from adjacent homesites and roads at all times except when in use. Owners are

encouraged to discuss any special requirements with the Committee at the Pre-Design Conference.

Special care must be employed if windows or skylights are to be constructed for garage or storage areas to prevent any harsh or direct light from being emitted to the exterior of the residence. The Committee will require such special lighting such as parabolic lenses, or other properly screened and baffled light sources, and the Committee may limit the general level of lighting in such circumstances.

## **5.7 FENCES AND PRIVACY WALLS**

Fences, walls and barrier devices may be used for privacy and screening purposes within the Building Envelope, but must be incorporated into the total residential structure design. The construction of fences along property lines and outside Building Envelopes is strictly prohibited in order to maintain existing wildlife movement and natural open space. The Committee shall review the design, appearance, appropriateness, size, materials, and construction of such structures in relation to the proposed residence and neighboring sites. Chain link, concrete block, glass block, or wire fencing is prohibited.

## **5.8 SOLID WASTE CONTAINERS AND STORAGE SHELTERS**

All solid waste containers must be animal-proof containers with the design and location approved by the Committee. Storage shelters for firewood and miscellaneous landscape maintenance equipment must be located in separate structures and are subject to approval by the Committee.

## **5.9 SWIMMING POOLS AND TENNIS COURTS**

Swimming pools require the approval of the Committee and must be placed within the Building Envelope. Pools shall be designed to complement the residential structure and should be placed so as to minimize impacts on adjacent homesites.

If, in the opinion of the Committee, the placement of a swimming pool on a homesite would negatively impact views or the use of adjacent lots, the application will be denied.

Private tennis courts are not permitted, however, the Design Review Committee may, at its discretion, approve a tennis court, if a single Owner combines more than two contiguous lots and no adjacent lot is negatively impacted.

Thermal pools will be permitted within the Building Envelope. However, they must be visually screened from adjacent homesites by landscaping and/or fencing to be approved by the Committee.

### **5.10 SIGNS**

Address identification monuments for each residence are required and must be in compliance with Appendix K. The numbers must be 4 inch, brushed brass in the "Times New Roman" Font. No "unique" identification devices will be permitted. Installation of address numbers on homes may be considered on a case by case basis. Appropriate location, number font, style, materials and colors must be submitted for approval by the Committee prior to installation. No additional signage detached from the residence will be permitted. No "For Sale," "For Rent" or "Yard/Garage Sale" signs will be permitted.

### **5.11 EXTERIOR LIGHTING**

No exterior or interior light whose direct source is visible from a neighboring property or which produces excessive glare to neighboring properties or to pedestrian or vehicular traffic shall be installed. Indirect sources and horizontal cut-off fixtures are recommended to reduce glare (see Deschutes County minimum requirements) and provide general ambient light. Use of other than white or pale yellow exterior lights will require specific approval of the Committee. Final approval of the proposed illumination plan and all exterior fixtures will be required by the Committee.

### **5.12 NATURAL DRAINAGE**

No Owner or contractor shall interfere with or direct the natural course of any drainage and run-off, nor construct any improvement, place any landscaping, or allow the existence of any condition whatsoever which shall alter the drainage pattern or run-off from its natural flow to or across the land of another, except to the extent such alteration in drainage pattern or run-off is required by governing authorities or the Committee and approved in writing by the Committee.

### **5.13 DRAINAGE**

Drainage ways should be maintained in as near natural condition as possible. This is recommended so that the volume of run-off entering and leaving the site does not change significantly and any pollutants generated on-site do not reach waterways.

If drainage courses are disrupted, they should be rehabilitated to match their natural state as much as possible. Open grass-lined swales are preferred over artificial channel and piping.

Site drainage should be designed to prevent water flows in the direction of the road or adjacent houses. To accomplish this, site plans must indicate site and road edge swales with drainage to retention ponds or dry wells.

Driveways should be designed to channel run-off into roadside swales, which parallel the road in order to minimize the need for culverts and to clean run-off before it reaches waterways. Swales should be vegetated and/or rock-lined to prevent erosions.

Care should be taken to assure run-off from parking areas is adequately treated before it is allowed to enter ground or surface water.

#### **5.14 PET CONTROL**

Pets may be contained within kennels and dog runs, which are fenced and located within the Building Envelope. Invisible electronic fences are allowed, however the Committee may establish on a case by case basis the minimum setbacks from adjoining property and portions of the homesite on which the pet run areas will be permitted. Such improvements must be approved by the Committee.

#### **5.15 WILDFIRE MANAGEMENT**

The potential for wildfire should be the concern of every Owner and all Owners should adhere to the following planning and design considerations:

- A. All dead vegetation should be removed from the homesite.
- B. Trees should be limbed to a height of 12" above the ground.
- C. A non-combustible space is recommended around the residence for a distance of 30', irrigation is encouraged in this area.
- D. Firewood should be stored in separate structures and may be covered with a brown tarp.

- E. New trees which will mature to a tall height should be planted at least 10' from the roof fascia.
- F. Roofs and exterior surfaces of the buildings should be constructed of fire resistant materials and "pre-treated."
- G. All chimneys should be equipped with UL or I.C.B.U. approved spark arrester.
- H. All roofs and gutters should be maintained free of leaves and pine needles.
- I. Plants contiguous to building structures should be irrigated.

### **5.16 WILDLIFE MANAGEMENT**

Because Crosswater is located in a deer migratory zone, the Design Guidelines have attempted to recognize the importance of this resource and the need for satisfying their requirements.

The deer population has three requirements: (1) adequate food, water and cover (trees and shrubs); (2) safe passage to their established winter and summer ranges; and (3) non-disturbance.

For this reason, as well as maintenance of the overall natural condition of Crosswater, home sites shall be designed such that each building envelope and its landscaping shall be an island surrounded by a continuous border of native landscaping.

### **5.17 SNOW MANAGEMENT**

Snow typically accumulates from three to five feet each year. Snow management is a necessity in order to avoid damage to persons and property and to assure that transportation can occur with minimal disruption. It is recommended that each Owner prepare and implement a snow management plan. Plans should discuss site specific strategy for dealing with temporary storm and long term seasonal accumulations. The following elements should be considered for inclusion in such a plan:

*Parking Areas:* Parking areas afford an opportunity for short and long term snow storage. At least 20 percent of total parking should be reserved for snow storage area. This percentage may include landscaped areas within the homesite provided they are

properly designed. Care should be taken to design parking areas so that snow can be easily cleared and eventually removed.

*Landscape Areas:* Landscape areas can also be used for snow storage sites. Plantings, however, must be hardy enough to take abuse from snow loading.

*Setback Areas:* Setback areas, particularly side and rear yards, may be considered for snow storage.

The design of buildings can do much to help manage snow. Rooftop accumulations are recommended. Factors in rooftop snow management are outlined below.

1. Roofs should be designed to carry a seasonal maximum snow load. Eaves should be designed to insulate the snow pack to prevent melting and the formation of ice dams.
2. Snow shedding roofs can be used if the total snow load can be deposited within the property line. In no case can the snow be directed to where it can endanger pedestrians and/or property.

## **6. ARCHITECTURAL GUIDELINES**

In addition to the Site Design Guidelines, there are also architectural guidelines that apply to the design and construction of residence and other building improvements. Read Appendix L carefully and understand the architectural style described and its geneses. The following architectural standards shall apply:

### **6.1 DESIGN INTENT**

Home designs for Crosswater should reflect traditional western mountain architecture with expressions of timber and steep roofs. There is not a specific architectural style that is required at Crosswater, but rather there is a set of general design themes described in detail in Appendix M. Certain styles are considered completely inappropriate, such as Santa Fe Adobe, Victorian, Spanish, Mediterranean, contemporary urban styles, Southern plantation, experimental, radical or ultra-contemporary. None of these will be allowed. Diversity in architectural character is to be achieved through use of quality natural materials, with complimentary color and forms that represent the heritage of architectural design in Central Oregon and the inter-mountain West.

### **6.2 GENERAL DESIGN CONSIDERATIONS**

Crosswater is a planned development and special consideration must be given to the siting of all improvements with emphasis on the relationship to existing grades, preservation of natural site features and trees, and the relationship to neighboring sites and vistas. All residences will have exterior elevations, roofs and details that shall be coordinated and consistent in their architectural treatment. The harmony between all designs throughout Crosswater is extremely important.

In some instances, specific design elements are recommended for functional and/or aesthetic reasons. The design and construction of those elements are solely the responsibilities of the Owners, their architects, and their contractors. Crosswater shall accept no liability incurred by the incorporation of these elements into the Owner's design.

### **6.3 BUILDING HEIGHT**

Building height limits have been established to promote buildings that are compatible with surrounding natural features while not detracting from views to and from neighboring homesites. The maximum height of residential homes as well as homesites within the designated landscape management zone shall be 30 feet from existing

grade to any point of the structure exclusive of chimneys or mechanical vents. At least 50% of the roof ridge should be less than 75% of the maximum height.

#### **6.4 BUILDING SQUARE FOOTAGE**

Residences including garage will have a minimum of 2,250 square feet. Square footage shall be measured from outside of exterior wall to outside of exterior wall. The total building square footage on a homesite shall be limited by the Building Envelope and Building Height. In the case of an exposed walkout basement, the floor area of the basement will be included in the calculations because the massing and the proportions of the entire structure would then be affected.

#### **6.5 EXTERIOR WALLS AND FINISHES**

The basic wall materials for all residences and ancillary structures shall be either wood or stone masonry. Preferable wood siding materials are: log (not pre-manufactured or pre-fabricated); tongue and groove, board and batten, plank, or shingle. All wood siding shall remain natural in appearance, however, it may be stained as approved by the Committee. Care should be taken to avoid conditions that will produce water staining on the siding.

The use of stone is encouraged; however, it shall be natural, preferably native, stream or field stone. Brick, faux stone, glass block and exposed unit masonry are prohibited. The incorporation of garden and site walls of native stone is encouraged.

Particular attention should be paid to the use of stone on the structure to ensure that the stone appears to be functional and integrated into the structure of the home. It is important that it does not appear to be a cosmetic veneer. Corners and column bases should be thickened and buttressed, as they would be when used as traditional structural elements. Stone courses should continue around corners, terminating in a traditional manner as it would if used for a structural element. Small inlays of stone which will appear as veneers between columns such as between garage doors should be avoided. Sloping stone caps are preferred to precast or mortar caps.

At the Committee's sole discretion, stucco may be approved as a siding material on a case by case basis. Where approved quantities must be limited such that stucco is not the primary material and its use must be balanced by extensive use of stone and expressions of heavy timber in a Northwestern Style. It is essential to avoid Southwestern, Spanish or Mediterranean styling.

## 6.6 ROOF

In general, relatively low-profile buildings with a variety in massing and rooflines are desired. Large, expansive areas of unbroken roof planes and ridgelines are undesirable. Overly complex mixes of varied shapes, hip, shed, and gable are equally undesirable.

Steeper pitched roofs traditionally used in mountain architecture are desired. The roof pitch shall be a minimum of 6:12, however up to 35% of the roof may be allowed at 4:12 subject to the discretion of the Committee. The Committee may consider further alteration of the roof pitch provided the Owner shows design benefits attributable to a greater or lesser roof pitch, and the design contains significant other features and uses of materials to avoid a contemporary or prairie style. Gable roofs are preferable; however, shed roofs are permitted subject to the approval of the Committee.

The only approved roof materials are natural, sawn cedar shingles or split cedar shakes, which must be fire retardant; concrete shingles, slate or clay tile with the shape, style material and color approved by the Committee. The Committee may consider and approve non-reflective metal roofs on a case by case basis.

Additional specific roof requirements are listed below:

- A. Snow guards, gutters, or other snow melt devices should be incorporated at all entrances to avoid hazardous snowfall and to provide protection from snow melt.
- B. All roof vents, plumbing vents, flues, and exterior mechanical equipment shall be collected and centralized and screened from view. Where practical, incorporation within chimneys or masses is encouraged. To the extent that vents cannot be concealed within chases or chimneys, they should be located on the side of the roof away from the road and to the extent possible fairway views.
- C. All chimneys are to have roof saddles, downdraft preventers and spark arresters.
- D. Roof skylights are permitted subject to the approval of the Committee. Heated gutters at the bottom edge of skylight are recommended effort should be made to locate skylights away from primary roof and fairway views.
- E. All flashing and approved, unconcealed plumbing vents shall be painted to match roof color; or be constructed of a weathering metal, i.e. copper, bronze or zinc.

- F. Large roof or eave overhangs are encouraged with wood soffits. Plywood and Masonite soffits are prohibited.
- G. Fascias should also be stepped to avoid cupping and rapid deterioration from freeze/thaw cycles.
- H. Mansard roofs are prohibited.

## **6.7 DOORS AND WINDOWS**

Generally, deeply recessed and articulated doorways and windows are desirable. Careful consideration should be given to the size, number and placement of windows to achieve an effective and sensitive counterpoint to wall surfaces. Reflective, colored glass, and glass block are not acceptable. Window frames should be made of wood, either finished naturally or painted a natural color. Window frame cladding is acceptable as long as the color is compatible with other elements of the building. Windows should be finished with substantial trims and sills. Mullions, Muttons and divided lights are encouraged to break up larger areas of glass.

## **6.8 UTILITY AND METER CONNECTIONS AND TREATMENT**

Utility and meter locations shall be shown on the plans, and adequate visual screening shall be provided subject to review and approval by the Committee.

## **6.9 ANTENNAE AND SATELLITE DISHES**

Antennae and satellite dishes must comply with federal standards. Satellite dishes larger than one meter in diameter will not be approved. Their location must be shown on the plans and they must be painted to match the building or roof and adequately screened from adjacent homes.

## **6.10 HEATING, COOLING AND SPECIAL EQUIPMENT**

No roof mounted or wall mounted heating or cooling equipment will be permitted. Exterior equipment must be shown on the plans and must be adequately screened for noise and visual appearance.

Emergency electrical generators may be approved at the discretion of the Committee on a case by case basis. The Committee shall consider noise level, fuel safety and

storage, adequate visual screening, complete automatic controls to protect the power distribution systems and workman, and any other factors that in its sole judgement it deems relevant.

## **6.11 OTHER BUILDING DESIGN ELEMENTS**

Roof venting shall be either continuous ridge vent, or wood trimmed gable, or dormer vents. Mushroom vents are prohibited.

The expression of protruding horizontal timber beam-ends (outlooks and corbels) at ridges and eaves is strongly encouraged. For deep cantilevered overhangs, the addition of 45-degree knee braces is desirable. Horizontal expression of beams, rafter ties, or timber trusses at the gable ends is encouraged.

Exposed steel or concrete beams, columns or trusses are prohibited. Over-sizing of timber columns and beams for aesthetic purposes is encouraged.

Mechanical connections of exposed timber beams and trusses shall be either by fully concealed knife plates with counter sunk connectors, or bolted architectural surface plates. Exposed metal should be painted to emphasize the structure. If exposed, these structural elements should not be painted to attempt concealment.

Architect must demonstrate on the construction documents the satisfaction of building code foundation venting requirements. Tabulate area required and area provided. Foundation vents should be located at the sides of the house. However, wherever they are located, architectural detailing is required. Single block-out vents and vent plugs are not allowed.

## **7. LANDSCAPE GUIDELINES**

Each homesite in Crosswater is unique and it is the intent of the Landscape Guidelines to preserve those special attributes and, to the extent possible, minimize adverse impacts to the natural environment. Owners should realize that Crosswater's alpine setting results in extreme differences in climate from season to season. The list of plants that can be expected to flourish is limited. It is the responsibility of the Owner and their designers to respond accordingly in the landscape design of each residence. The approved plant lists are provided in Appendices B and C.

### **7.1 GENERAL DESIGN CONSIDERATIONS**

Within the Building Envelope, the Owner is required to use plant material to enhance the architecture, define outdoor spaces in a manner that preserves both on and off site views, and knit the structures to the site. Plants, which are approved within the Building Envelope, are listed in Appendix C. It should be noted that the building envelopes are generally rectilinear in shape. It is not intended that the landscaping within the envelope follow the precise shape of the envelope. Specifically inside the envelope plant material is allowed within a five-foot strip along either side of the entire length of the driveway, including the address rock berm areas. The designer must address the intent of the plant locations, noting more formal landscape beds surrounding the home while keeping most native areas, native and undisturbed. The Committee will exercise its judgment and discretion in determining the appropriateness of the proposed areas within the building envelope and outside the building envelope for each homesite.

For landscape improvements allowed outside and inside the Building Envelope, plants are listed in Appendix B. It is the intent that the landscaping outside the building envelopes will be native in appearance and blend naturally with the adjoining properties. Each home together with its landscaping within the Building Envelope should appear as a self-contained island within a larger context of native, natural conditions.

Owners that desire a more manicured landscaping in the areas outside the building envelope must submit a landscape plan (and any appropriate submittal fees) for approval by the Committee. The other functional uses of plant materials that should be considered include provision of seasonal shade with deciduous trees, and screening of undesirable views.

The composition of the plant materials should consider present and mature size, infringement of certain views, background and foreground balance, relationship to the architecture and other site textures, and judicious use of color and texture.

Due to the relatively short growing season at Crosswater, larger-caliper deciduous trees and mature evergreens are strongly recommended. To the extent practical it is suggested that consideration be given to the installation of plants which tend to be fire resistant.

## **7.2 TIME OF INSTALLATION**

Because of limited construction periods in the mountains due to winter weather, the Committee may, at its sole discretion, modify the review and approval procedures to accommodate the timely installation of plant materials.

## **7.3 IRRIGATION**

All grassed and landscaped areas within the Building Envelope of each homesite must be irrigated. Xeriscape design concepts should be adhered to in conjunction with the specification of drought tolerant plants combined with minimal irrigation. Areas outside the Building Envelope may be irrigated although care should be taken to preserve the conditions for native species. Irrigation in native areas should be temporary to allow for restoration, and removed or greatly reduced after restoration to further enhance native areas. Prior to submittal to the Design Review Committee all irrigation systems must be approved by the Sunriver Utility Company. One of the five sets of irrigation plans submitted to the Committee must show spec approval.

## **7.4 MAINTENANCE**

All trees, shrubs, ground covers, grasses and the irrigation system must be maintained at a level consistent with the rest of Crosswater. All dead or dying plants or grasses shall be replaced promptly. The only perennials allowed to be planted in yards are listed on Appendices B & C of the Guidelines. All landscaped beds must be raked monthly and kept weed free in accordance with the Community Standards. As is noted above when Crosswater native seed mix is approved for installation, outside the building envelopes, it may be irrigated regularly until the seed has taken root. (Usually within one year.) After the seed has taken root the irrigation must be adjusted to a minimal level, appropriate for native grasses. If owners desire trees in these areas they may be irrigated with a drip irrigation system.

These native grass areas may only be mowed twice during the year, once in the spring and once in the fall. These native grass areas may not be mown close to the ground as this changes the required native look. Either a high setting on the mower or a weed-whacker must be used. These areas must also be kept weed free.

Only fine dark mulch or fine dark compost may be used for ground cover. Red bark mulch or shredded materials will not be approved.

## **7.5 RE-VEGETATION**

Preserving the native vegetation and systems is both cost effective and ecologically sound. The Crosswater area contains volcanic, well-drained soils and experiences harsh winters, short growing seasons, and hot dry summers. These conditions combine to make re-vegetation of trees and shrubs difficult. The best strategy is to minimize disturbance. It is recognized that in certain instances it will be necessary to selectively clear trees to provide solar access, enhance views, and accommodate roads and homes. Site planners should, however, strive to integrate buildings and roadside into the existing landscape with minimal disturbance to vegetation.

All areas disturbed during construction must be re-vegetated to blend with the existing natural condition. These disturbed areas must be planted with Idaho Fescue clump grasses, installed on 3-4 foot centers, and then over-seeded with the approved Crosswater Native Grass Seed mix. No rocks, plants, trees, etc. shall be removed from any portion of Crosswater other than from the Owner's property without written permission from the Committee.

## **7.6 GRADING**

Grading plans must include methods which maintain to the greatest extent the natural character of the site. Where fill is necessary to make a site buildable, the main floor level of the home may not be elevated above the street level or adjacent home sites. Grading should remain clear of the drip line of any trees and shrubs or vegetation to remain on the lot. Use of terracing and tree wells is required where significant trees and vegetation are impacted by the development processes. Cut and fill in visually sensitive areas should be minimized. Topsoil should be stored for reuse in landscaping or replanting disturbed areas.

## **7.7 OUTDOOR ORNAMENTATION, STATUARY AND FIRE PITS**

Erecting, constructing or allowing any permanent unnatural or man-made ornaments, signs, statuary, flagpoles, game poles, playground equipment, backboards or devices are prohibited unless they are included and made a part of a landscape plan submitted to and approved by the Committee. Lawn ornaments and similar items in the landscaping surrounding the residence are prohibited.

Fire pits and fireplaces may be submitted for approval. All fire pits and fireplaces must be plumbed with natural gas.

## **7.8 WALKWAYS AND PATIOS**

Walkways and patios must be constructed of stepping stones, brick, stone pavers, or tinted or stained concrete. Asphalt and gravel walkways and patios are not permitted.

## **7.9 USE OF SOD/SEEDED LAWNS**

The Committee may approve, as its discretion, the use of sod or seeded lawn outside of building envelopes; however the use of sod or seeded lawn will be kept to a minimum on all Landscape Designs. If it is approved outside the building envelope it may not be installed within 5 feet of any property line.

## **8. CONSTRUCTION REGULATIONS**

To ensure the integrity of the residences in Crosswater the Committee requires all Contractors to be reputable licensed Contractors, in good standing with Crosswater. Prior to construction the Committee requires all new contractors to provide a brief resume noting past building projects. All contractors must provide a completed Appendix L, a current copy of proof of insurance and a copy of their Oregon contractor's licenses. Contractors who are not in good standing in Crosswater will not be allowed to build homes in Crosswater. Owners should contact the DRC office prior to selecting a contractor to ensure the contractor is in good standing.

To also ensure that sites will not be irreparably damaged during the period a residence is being built, the following construction regulations shall be enforced during the construction period. These regulations shall be a part of the construction contract document specifications for each residence, and all contractors and Owners shall abide by these regulations.

A refundable contractor deposit of \$2,000 is required for each site and a pre-construction meeting will be held with each contractor, prior to the start of construction. At this meeting the Construction Schedule required in section 4.5 of the Guidelines and the Construction Area Plan required in section 8.1, will be reviewed. The Committee may use, apply or retain any part of the contractor deposit to the extent required to reimburse the Association for any cost it may incur on behalf of the construction activity.

Any violation of the guidelines during construction must be rectified within 72 hours of notice or if such violation would reasonably take longer than 72 hours to correct, then a schedule of such correction, acceptable to the Committee, must be submitted and approved within 72 hours. After 72 hours the current, daily, fine rate will be imposed until the violation is rectified. Fines for violations will be charged against the contractor's deposit. When a fine is assessed against this deposit, the owner or contractor must reimburse the Association for the fine within 10 days or a "stop construction notice" will be placed on the lot until the deposit is replenished. Any violation not rectified within 7 days after notice will cause a "specific stop construction notice" to be placed on the lot. No further construction will be allowed on the residence until the specific violation is rectified and the deposit replenished.

## **8.1 CONSTRUCTION AREA**

The Owner or contractor shall provide the Secretary of the Committee with a detailed plan showing how the homesite will be protected and the areas in which all construction activity will be confined prior to construction, including size and location of construction material storage, limits of excavation, drive areas, parking, chemical toilet locations, temporary structures (if any), dumpsters, storage or debris, fire extinguisher, utility trenching and construction sign. This plan should identify the methods for protection, such as snow fencing, flagging, rope, barricades or other means to be set up prior to construction. A meeting between the Construction Site Supervisor and the Secretary of the Committee is required prior to the start of construction to ensure that all construction rules are understood and that the above plan has been approved.

Each site shall be protected by a series of re-bar posts on 5 foot centers, with orange plastic caps, set at least 8 inches into the ground for the entire frontage of the homesite. These posts shall be set on the property line.

## **8.2 IMPROVEMENT SURVEY**

After the foundations have been poured, a licensed surveyor is required to make a site inspection to certify that all improvements are located within the homesite's Building Envelope and that they match all approved plans. Verification will be sent to the Committee within 10 days of the survey.

## **8.3 CONSTRUCTION ACCESS**

The only approved construction access during the time a residence is being built will be over the approved driveway for the homesite unless the Committee approves an alternative access point.

## **8.4 CONSTRUCTION TRAILERS OR TEMPORARY STRUCTURES**

Temporary structures must be located on the homesite and must be approved by the Committee as to size, configuration and location. All temporary structures shall be removed after the occupancy permit issuance. Any damage caused by the placement, use or removal of such equipment will be promptly repaired restored at the Owner's or Contractor's expense within 48 hours. Any damage not restored within 48 hours will be restored by the Association and charged against the refundable construction deposit.

## **8.5 STORAGE OF CONSTRUCTION MATERIAL AND EQUIPMENT**

Storage areas shall be designated according to the approved Construction Area Plan prior to construction. The Contractor will be responsible for the continuous maintenance of these areas.

## **8.6 DAILY OPERATION**

Daily working hours for each construction site shall be Monday through Friday from 7:00a.m. - 7:00p.m. and Saturdays from 8:30a.m. - 5:00p.m. unless otherwise restricted by the Committee. No construction will be allowed on New Years Day (January 1), Memorial Day (designated Monday in May), July 4th, Labor Day (designated Monday in September), Thanksgiving (designated Thursday in November) or Christmas (December 25). On all other legal holidays construction will be permitted from 8:30a.m. - 5:00p.m.

Contractors will be turned away at the gate until 7:00am. The Gatehouse entrance may not be blocked and South Century Drive may not be used as a parking area prior to 7:00am. Sub-contractors who obtain access codes to Crosswater and are unlawfully entering the Community before the Gatehouse staff arrives, will be considered trespassers and will be treated as such. Arrangements for earlier arrivals due to mitigating circumstances may be approved on a case by case basis by the Association Manager; however written approval must be obtained.

## **8.7 BLASTING**

Any plans to blast shall be brought to the attention of, and approved in writing by the Secretary of the Committee before commencement. Proper safety and protective actions shall be used and evidence of insurance coverage shall be provided with the Crosswater Owners' Association named as an additional insured.

## **8.8 RESTORATION AND REPAIR**

Damage to any property other than the Owner's, by contractors, shall be promptly repaired at the expense of the Owner employing the person or entity causing the damage. (This includes damage done by cleaning out concrete trucks on-site, damage to asphalt roads and shoulders edges, utilities, signs, vegetation, etc.) It is the contractors' responsibility to keep the roads free of dirt and mud. The contractor must clean the roadways consistently (at least bi-weekly) throughout the construction

process. They may be swept or washed. If the roadway is not kept clean the Owners' Association will pay to have the road cleaned and the Owner and Contractor will be responsible for the cost.

### **8.9 DUST, NUISANCE AND NOISE CONTROL**

- A. It is the contractors' responsibility to control dust and noise on the site. All dirt piles must be completely covered with plastic sheeting or tarps, (clear, brown or black only). Irrigation of the loose dirt may be a solution, however any solution must be effective 24 hours a day, seven days a week.
- B. The playing of radios or use of other audio equipment by construction crews is prohibited.
- C. No swimming, sunbathing, or consumption of alcoholic beverages is allowed.

### **8.10 EXCAVATION**

Excess excavation material shall be removed from Crosswater. The material shall not be placed in common areas, road, or other homesites. Excavation, except for utility trenching, shall be done on the homesite only.

### **8.11 DEBRIS AND TRASH REMOVAL**

- A. Proper disposal of refuse and storage of material is the Owner's and the Contractor's responsibility. Debris and trash shall be picked up daily and stored in covered trash containers. A dumpster is required on each site and must be covered at all times by a net. All debris will be removed on a weekly basis and legally disposed of outside of Crosswater. Owners and Contractors will take the necessary precautions to prevent debris and/or material from blowing off the homesite and the cost of cleaning up blown and scattered debris from the construction site will be charged against the refundable construction deposit.
- B. Warming, trash fires or the burning of any construction debris on construction sites, is prohibited.

## **8.12 VEHICLES AND PARKING**

The speed limit in Crosswater is 25 miles per hour. If a contractor or sub-contractor has been observed speeding in the Community they will be notified. If they are observed more than once, they will lose their privilege to work in Crosswater.

All vehicles will be parked so as not to inhibit traffic, and within the designated construction area so as not to damage the natural landscape. Changing oil in vehicles and equipment without proper receptacles and removal procedures is forbidden.

Prior arrangements must be made with the Gatehouse for trucks and trailers over 40 feet in length to ensure that they can safely negotiate the entry gates and island turn arounds. Trucks and trailers that have not made prior arrangements will be turned away at the gate. The Owner/Contractor will be responsible for restoring any damaged roadways caused by construction vehicles or equipment within 48 hours. Any damage not restored within 48 hours will be restored by the Association and charged against the refundable construction deposit.

## **8.13 PORTABLE TOILETS**

Portable toilets shall be provided by the contractor and placed in an approved location.

## **8.14 SIGNAGE**

Temporary construction signs shall be limited to one sign per site, not to exceed 6 square feet of total surface area. Neutral colors and natural wood should be used. This sign will be freestanding, and the Committee shall approve the design and location of such a sign. No signage will be placed prior to submittal of the Schematic Design of the homesite to the Committee and it shall be promptly removed and any resulting damage shall be repaired upon issuance of a Certificate of Occupancy.

## **8.15 FIRE EXTINGUISHER**

A minimum of one serviceable 1016 ABC-rated dry chemical fire extinguisher shall be located on each construction site in a conspicuous location.

## **8.16 FLAMMABLE ITEMS**

Careless use or storage of cigarettes and flammable items will not be allowed.

## **8.17 PETS**

Contractors, subcontractors and their employees are prohibited from bringing dogs and other pets to the Crosswater construction site.

## **8.18 FIREARMS**

Possession of or discharging firearms at Crosswater is prohibited.

## **8.19 UTILITIES**

Utilities should be designed and constructed for the most intensive use that can reasonably be foreseen.

All utilities should be buried. Water and sewer piping must be located in different trenches, with separation distances as required by the County of Deschutes. Power, gas, telephone, and television cable may be in common trenches with other services, if acceptable by governing building codes and regulations. Contractors should check with utility companies to determine current installation standards.

The following general considerations are applicable to buried utilities.

In order to avoid damage from the rocky subsoils of the area, all pipe and wiring (including wiring in conduit) should be bedded over and under with at least 4 inches of sand, or pea gravel minimum, or as required by governing authority.

No pipe or wire should be installed directly above another; at least 18 inches horizontal offset should be provided.

Location tape should be provided above all buried utilities, at a depth of approximately 1-foot. Location tape above non-metallic piping should be magnetically detectable. A separate location tape should be provided for each pipe or wire even if installed in a common trench.

Accurate as-built drawings should be prepared by all developers to tie the locations of all utilities to permanent reference points. Copies will be submitted to the governing utility or regulatory agency upon completion of construction. (Sunriver Utilities, Midstate Electric, Cascade Natural Gas, Qwest, Sunriver Utilities.)

## **APPENDIX A: DESIGN GUIDELINES**

### *Definitions*

Unless the context otherwise specifies or requires, use of the following words or phrases when used in these Design Guidelines shall have the following meanings:

*Architect* - A person licensed to practice architecture or landscape architecture within the state they are practicing.

*Design Review Committee (the Committee)* -The Committee appointed by the Declarant or Crosswater Association as describe in the Convents, Conditions and Restrictions (CC&Rs) as the Committee. The Committee shall review and wither approve or disapprove proposals and/or plans and specifications, construction, exterior additions, landscaping or changes and alterations within Crosswater.

*Association* - The term Association shall mean and refer to the Crosswater Owners' Association, an Oregon, non-profit mutual Benefit Corporation, and its successors and assigns.

*Board* - The term Board shall mean the Board of Directors of the Association.

*Contractor* - A person or entity engaged by an Owner for the purpose of constructing any improvement with the Project. The Contractor and Owner may be the same person or entity.

*Building Envelope* - The portion of a Homesite which encompasses the area within which the building may occur subject to the Design Guidelines and as delineated on the Site Analysis Plan.

*Declarant* - The term Declarant shall mean and refer to Sunriver Resort Limited Partnership, a Delaware limited partnership, its successors and assigns other than Owners. The Declarant is also referred to as the Developer.

*Design Guidelines* - The restrictions, review procedures, and construction regulations adopted and enforced by the Committee as set forth in this document and as amended from time to time by the Committee.

*Excavation* - Any disturbance of the surface of the land (except to the extent reasonably necessary for the planting of approved vegetation), including any trenching which results in the removal of earth, rock or other substance from a depth of more than 12 inches below the natural surface of the land or any grading of the surface.

*Fill* - Any addition of earth, rock, or other materials to the surface of the land, which increases the natural elevation of such surface.

*Improvement* - Every structure or improvement of any kind, including, without limitation, buildings, fences, walls, trees, hedges, plantings, poles, driveway, parking areas, loading areas, ponds, lakes, recreational facilities, signs, changes in any exterior color or shape, and site work (such as, without limitation, excavation, grading, road construction, utility improvements, and removal of trees or plantings.) Improvement does not include turf, shrub, or tree maintenance or replacement. Improvement does include new construction and any subsequent exterior improvements.

*Homesite* -The term homesite shall be those parcels of land, together with any appurtenances, described as Homesites on the subdivision plats Crosswater Phases 1 and 2, and Crosswater Phase 3.

*Natural Area* - That portion of the Homesite which lies outside the Building Envelope.

*Member* - The term Member shall mean and refer to every person or entity who is an Owner, as defined below. Membership shall be appurtenant to any, and may not be separated from, ownership of any Homesite.

*Owner* - The term Owner shall mean the record Owner of any Homesite or Homesites as shown on the official records of the Deschutes County, Oregon Recorder. The Owner may act through an agent provided that such agent is authorized in writing to act in such capacity.

*Residence* - The building or buildings, including any garage, or other accessory building, used for residential purposes constructed on a Homesite, and any improvements constructed in connection therewith.

*Xeriscape* - Pertaining to dry, desert-like climatic conditions.

## APPENDIX B: DESIGN GUIDELINES

### *Plantings Allowed Outside and Inside Building Envelopes*

TREES:	<i>Abies lasiocarpa</i>	Subalpine fir
	<i>Abies concolor</i>	White fir
	<i>Abies grandis</i>	Grand fir
	<i>Acer ginnala</i>	Amur maple
	<i>Betula occidentalis</i>	Waterbirch
	<i>Betula papyrifera</i>	Paperbirch
	<i>Juniperus occidentalis</i>	Western juniper
	<i>Larix occidentalis</i>	Western larch
	<i>Picea abies</i>	Norway spruce
	<i>Picea engelmannii</i>	Englemann spruce
	<i>Picea pungens</i>	Colorado spruce (Green)
	<i>Pinus ponderosa</i>	Ponderosa pine
	<i>Populus tremula</i>	Swedish aspen
	<i>Populus tremuloides</i>	Quaking aspen
	<i>Prunus emarginata</i>	Bitter cherry
	<i>Prunus maackii</i>	Amur chokecherry
	<i>Prunus virginiana</i>	Chokecherry
	<i>Tsuga mertensiana</i>	Mountain hemlock
SHRUBS:	<i>Acer circinatum</i>	Vine maple
	<i>Acer glabrum</i>	Douglas maple
	<i>Amelanchier alnifolia</i>	Serviceberry
	<i>Arctostaphylos patula</i>	Green manzanita
	<i>Artemisia frigida</i>	Fringed sage
	<i>Artemisia tridentata</i>	Western sage
	<i>Aronia melanocarpa</i>	Black chokecherry
	<i>Caragana arborescens</i>	Siberian pea shrub
	<i>Ceanothus velutinus</i>	Snowbrush
	<i>Cercocarpus ledifolius</i>	Curleaf mountain mahogany
	<i>Chrysothamnus nauseosus</i>	Gray rabbitbrush
	<i>Chrysothamnus visidiflorus</i>	Green rabbitbrush
	<i>Cornus sericea</i>	Redtwig dogwood
	<i>Holodiscus species</i>	Ocean/desert spray
	<i>Lonicera conjugialis</i>	Shrubby honeysuckle
	<i>Lonicera involucrate</i>	Twinberry
	<i>Mahonia aquifolium</i>	Oregon grape
	<i>Mahonia repens</i>	Creeping Oregon grape
	<i>Mahonia nervosa</i>	Low Oregon grape
	<i>Penstemon fruticosus</i>	Shrubby penstemon
	<i>Philadelphus lewisii</i>	Mockorange
	<i>Physocarpus malvaceus</i>	Mallow ninebark
	<i>Pinus mugo</i>	Mugho pine
	<i>Pinus murrayana</i>	Murrayana pine

SHRUBS (cont'd):

<i>Potentilla fruticosa</i>	Cinquefoil
<i>Prunus besseyi</i>	Western sand cherry
<i>Purshia tridentata</i>	Antelope bitterbrush
<i>Ribes alpinum</i>	Alpine current
<i>Ribes aureum</i>	Golden current
<i>Ribes cereum</i>	Wax currant
<i>Ribes viscosissimum</i>	Sticky currant
<i>Rosa nutkana</i>	Nootka "wild" rose
<i>Rosa woodsii</i>	Woods rose
<i>Salix hookerianna</i>	Hooker's willow
<i>Salix scouleriana</i>	Scouler's willow
<i>Salix purpurea</i>	Artic willow
<i>Sambucus cerulea</i>	Blue elderberry
<i>Shepherdia argentea</i>	Silver buffalo berry
<i>Shepherdia canadensis</i>	Russet-leaved buffalo berry
<i>Sorbus scopulina</i>	Dwarf mountain ash
<i>Sorbus sitchensis</i>	Sitka mountain ash
<i>Spiraea betulifolia</i>	Shiny-leaved spirea
<i>Spiraea bumalda</i>	Spirea
<i>Spiraea densiflora</i>	Sub-alpine spirea
<i>Spiraea douglasii</i>	Douglas spirea
<i>Symphoricarpos albus</i>	Snowberry

GROUND COVERS:

<i>Actostaphylos urva-urs</i>	Kinnickinnick
<i>Ceanothus prostratus</i>	Indian Carpet
<i>Clematis Columbiana</i>	Rock clematis
Fine Dark Compost or Hemlock Mulch	(no red bark)

GRASSES:

<i>Agropyron spicatum</i>	Bluebunch wheatgrass
<i>Deschampsia caespitosa</i>	Tufted hairgrass
<i>Festuca idahoensis</i>	Idaho fescue
<i>Koehleria cristata</i>	Prairie junegrass
<i>Oryzopsis hymenoides</i>	Indian rice grass
<i>Sitanion hystrix</i>	Bottlebrush squirreltail
Approved Round Butte Seed Growers	"Crosswater Seed Mix"

PERENNIALS:

<i>Achillea millefolium</i>	Common yarrow
<i>Eriophyllum lantatum</i>	Oregon sunshine
<i>Fragaria virginiana</i>	Broadpetal strawberry
<i>Linum lewisii</i>	Blue flax
<i>Lupinus albicaulis</i>	Sickle-keeled lupine
<i>Penstemon strictus</i>	Rocky mountain penstemon

## APPENDIX C: DESIGN GUIDELINES

### *Additional Plantings Allowed Only Inside Building Envelopes*

TREES:	<i>Abies balsamea</i>	Balsam fir
	<i>Alnus icana</i>	Mountain alder
	<i>Crataegus</i>	Hawthorn
	<i>Juniperus scopulorum</i>	Rocky Mountain juniper
	<i>Pinus aristata</i>	Bristlecone pine
	<i>Picea pungens 'glauca'</i>	Colorado spruce (Blue)
	<i>Prunus americana</i>	American plum
SHRUBS:	<i>Berberis thunbergii</i>	Japanese barberry
	<i>B. thunbergii crimson pygmy</i>	Crimson barberry
	<i>B. thunbergii rosy glow</i>	Rosy glow barberry
	<i>Ceanothus sanguineus</i>	Redstem ceanothus
	<i>Cornus mas</i>	Cornelian cherry
	<i>Cornus stolonifera</i>	
	' <i>Flaviramea</i> '	Yellowtwig dogwood
	<i>Cotoneaster</i>	Cotoneaster species
	<i>Elaeagnus commutata</i>	Silverberry
	<i>Hamamelis virginia</i>	Common witch hazel
	<i>Lonicera utahensis</i>	Utah honeysuckle
	<i>Picea abies 'Pumila'</i>	Dwarf Norway spruce
	<i>Picea abies 'Little Gem'</i>	'Little Gem' Norway spruce
	<i>Picea nidiformis</i>	Bird's nest spruce
	Rhododendron	Rhododendron
	<i>Rhus trilobata</i>	Oakleaf sumac
	<i>Rhus typhina</i>	Staghorn sumac
	<i>Salix lasiandra</i>	Pacific willow
	<i>Salix SSP. 'Flame'</i>	Flame willow
	<i>Salix Purpurea 'Nana'</i>	Dwarf arctic willow
	<i>Spiraea tosaensis nipponica</i>	Snowmound spiraea
	<i>Symphoricarpos orbiculata</i>	Coralberry
	<i>Viburnum</i>	Viburnum species
GROUND COVERS:	<i>Cornus canadensis</i>	Bunchberry
	<i>Cornus kelseyii</i>	Kelsey dogwood
	<i>Cotoneaster</i>	Cotoneaster species
	<i>Potentilla verna</i>	Nana potentilla
	<i>Lamium</i>	Lamium (assorted)
	Sedums	Sedums (assorted)
	Thymus	Thyme (assorted)
	<i>Vinca minor</i>	Dwarf periwinkle

PERENNIALS:	<i>Anaphalis margaritacea</i>	Pearly everlasting
	<i>Antennaria rosea</i>	Pussytoes
	<i>Antennaria microphylla</i>	Rosey pussytoes
	<i>Aster chilensis</i>	Pacific aster
	<i>Aquilegia formosa</i>	Western columbine
	<i>Castilleja spp.</i>	Indian paintbrush
	<i>Dicentra formosa</i>	Bleeding heart
	<i>Delphinium</i>	Larkspur
	<i>Epilobium angustifolium</i>	Fireweed
	<i>Erigeron</i>	Daisy
	<i>Eriogonum</i>	Buckwheat
	<i>Eschscholtzia californica</i>	California poppy
	<i>Fragaria vesca</i>	Woods strawberry
	<i>Gaillardia aristata</i>	Indian blanket flower
	<i>Geranium viscosissimum</i>	Sticky geranium
	<i>Geum triflorum</i>	Old man's whiskers
	<i>Heuchera cylindrica</i>	Alumroot
	<i>Ipomopsis aggregata</i>	Scarlet gilia
	<i>Iris missourienses</i>	Western (blue flag) iris
	<i>Lupinus latifolios</i>	Broadleaf lupine
	<i>Lupinus sericeus</i>	Silky lupine
	<i>Penstemon eatonii</i>	Firecracker penstemon
	<i>Penstemon davidsonii</i>	Davidson's penstemon
	<i>Penstemon humilus</i>	Lowly penstemon
	<i>Penstemon pinifolius</i> varieties	Pinemat penstemon varieties
	<i>Penstemon speciosus</i>	Showy penstemon
	<i>Penstemon venustus</i>	Blue mountain penstemon
	<i>Sidalcea oregana</i>	Oregon checker mallow
	<i>Sisyrinchium idahoense</i>	Blue-eyed grass
	<i>Sphaeralcea grossularifolia</i>	Gooseberry leaves globe mallow
	Bulbs	Daffodils, crocus, iris
GRASSES:	<i>Elymus glaucous</i>	Blue wildrye
	<i>Festuca spp.</i>	Sheep/Blue fescue
	<i>Helictotrichon sempervirens</i>	Blue oat grass
	<i>Calamagrostis 'Karl Foerster'</i>	Reed grass
	<i>Calamagrostis a. 'Overdam'</i>	Variegated reed grass

**APPENDIX D: DESIGN REVIEW COMMITTEE**

*Request for Pre-Design Conference*

Date: \_\_\_\_\_ Homesite \_\_\_\_\_

Requested by: \_\_\_\_\_ Phone: \_\_\_\_\_

Owner: \_\_\_\_\_ Phone: \_\_\_\_\_

Architect: \_\_\_\_\_ Phone: \_\_\_\_\_

Conference Date: \_\_\_\_\_ (Schedule and Notify)

**APPENDIX E: DESIGN REVIEW COMMITTEE**

*Application for Schematic Plan Submittal*

Date: \_\_\_\_\_ Homesite: \_\_\_\_\_  
Owner/Owner: \_\_\_\_\_  
Phone: \_\_\_\_\_  
Address: \_\_\_\_\_  
Architect: \_\_\_\_\_  
Phone: \_\_\_\_\_  
Address: \_\_\_\_\_

*This application will be considered complete only if the following are submitted:*

6 Copies of a written explanation of your design approach and 6 copies of a graphic explanation of the design concepts.

.....  
A filing fee of \$2,700 (non-refundable) and a \$2,000 Refundable Deposit must be submitted at this time. Site staking of building corners, driveway and other improvements must be done at this time for the Committee approval.

.....  
*For the Committee use only:*

Submittal Date: \_\_\_\_\_  
Meeting Date: \_\_\_\_\_  
Notice Date: \_\_\_\_\_

.....  
NOTICE TO OWNER:

*Following your Schematic Plan Submittal, the Committee:*

- ( ) Approves your Schematic Plan
- ( ) Approves your Schematic Plan with the following conditions:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- ( ) Disapproves your Schematic Plan for the following reasons and requires a revised submittal:

\_\_\_\_\_  
\_\_\_\_\_

Signed: \_\_\_\_\_

Note: Approval and compliance with conditions is a pre-condition to filing an application for a Design Development Submittal.

**APPENDIX F: DESIGN REVIEW COMMITTEE**

*Application for Design Development Submittal*

Date: \_\_\_\_\_ Homesite: \_\_\_\_\_  
Owner/Owner: \_\_\_\_\_  
Phone: \_\_\_\_\_  
Address: \_\_\_\_\_  
Architect: \_\_\_\_\_  
Phone: \_\_\_\_\_  
Address: \_\_\_\_\_

*This application will be considered complete only if the following are submitted:*

- 6 Copies of Each:
- (1) Site Plan (1"=10'0" minimum)
- (2) Floor Plans and Roof Plan (1/4"=10'0" minimum)
- (3) Exterior Elevation (1/4"=10'0" minimum)
- (4) Building Sections (1/4"=10'0" minimum)
- (5) Landscape Plan (1"=10'0" minimum)

.....  
*For the Committee use only:*

Submittal Date: \_\_\_\_\_  
Meeting Date: \_\_\_\_\_  
Site Inspection: \_\_\_\_\_  
Notice Date: \_\_\_\_\_

.....  
**NOTICE TO OWNER:**

*Following your Design Development Submittal, the Committee:*

- ( ) Approves your Design Development Plan
- ( ) Approves your Design Development Plan with the following conditions:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- ( ) Disapproves your Design Development Plan for the following reasons and requires a revised submittal: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

Signed: \_\_\_\_\_

Note: Approval and compliance with conditions is a pre-condition to beginning construction.

**APPENDIX G: DESIGN REVIEW COMMITTEE**

*Application for Remodeling, Additions or Alterations Plan Submittal*

Date: \_\_\_\_\_ Homesite: \_\_\_\_\_  
Owner/Owner: \_\_\_\_\_  
Phone: \_\_\_\_\_  
Address: \_\_\_\_\_  
Architect: \_\_\_\_\_  
Phone: \_\_\_\_\_  
Address: \_\_\_\_\_

*This application will be considered complete only if the following are submitted:*

- 6 Copies Each:
- A written explanation of your remodeling project
- (1) Site Plan (1"=10'0" minimum)
- (2) Floor Plans and Roof Plan (1/4"=10'0" minimum)
- (3) Exterior Elevation (1/4"='10" minimum), showing any exterior changes
- (4) Landscape plans showing any changes or restoration required by these changes

.....  
A filing fee of \$700 (non-refundable) and a \$1,000 Refundable Construction deposit must be submitted at this time.  
.....

*For the Committee use only:*

Submittal Date: \_\_\_\_\_  
Meeting Date: \_\_\_\_\_  
Notice Date: \_\_\_\_\_

.....  
**NOTICE TO OWNER:**

*Following review of your Remodeling, Additions or Alterations Plan Submittal, the Committee:*

- ( ) Approves your Remodeling, Additions or Alterations Plan
- ( ) Approves your Remodeling, Additions or Alterations Plan with the following conditions:

\_\_\_\_\_  
\_\_\_\_\_

- ( ) Disapproves your Remodeling, Additions or Alterations Plan for the following reasons and requires a revised submittal: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

Signed: \_\_\_\_\_

Note: Approval and compliance with conditions is a pre-condition to starting any work on this project.

**APPENDIX H: DESIGN REVIEW COMMITTEE**

*Request for Building Envelope and/or Setback Changes*

Date: \_\_\_\_\_ Homesite: \_\_\_\_\_

Owner/Owner: \_\_\_\_\_

Phone: \_\_\_\_\_

Address: \_\_\_\_\_

Architect: \_\_\_\_\_

Phone: \_\_\_\_\_

Address: \_\_\_\_\_

*This request will be considered complete only if the following are submitted:*

6 Copies of a written explanation of your building envelope and/or setback plan change and a clear explanation of why the change is needed, 6 copies of a graphic explanation of the changes requested.

.....

A non-refundable filing fee of \$250 must be submitted at this time.

.....

*For the Committee use only:*

Submittal Date: \_\_\_\_\_

Meeting Date: \_\_\_\_\_

Notice Date: \_\_\_\_\_

.....

**NOTICE TO OWNER:**

Following your request for building envelope and/or setback changes, the Committee:

( ) Approves your request.

( ) Approves your request with the following conditions:

\_\_\_\_\_

( ) Disapproves your request for the following reasons:

\_\_\_\_\_

\_\_\_\_\_

Signed: \_\_\_\_\_

## APPENDIX I: Application Fees

*(Subject to change without notice)*

Outlined below is the Crosswater Design Review Committee's fee schedule for architectural review and inspection within the subdivision, as is required for in the Crosswater (CC&Rs), effective November, 2007.

1. Complete Plan Review and inspection fee for a new residence \$2,700
2. Refundable Construction Deposit \$2,000
3. Building Envelope or Design Guideline Changes \$250
4. Resubmittal Fees for incomplete or non-compliant submittals-  
Actual Cost plus \$200
5. Re-review of previously approved Design Development plans,  
when construction starts more than 12 months after initial  
approval of the plans \$750
6. Plan Review and inspection for remodels, additions and redesigns to existing  
residences exteriors or landscaping \$700
7. Minor additions or changes- deck enclosures, exterior lighting, permanent  
sports equipment, spas or minor landscaping/ irrigation changes.  
Actual costs of review plus \$25
8. Minor repairs, repainting or restaining with existing colors No Charge
9. Resurfacing existing driveway, replacing landscape material  
(No change of materials) No Charge
11. Property for sale inspection \$100
12. Infractions for violations of the Guidelines as stated in Section 8.0,  
will be charged a daily fee until rectified. (In addition to any required  
submittal fees.) Per day: \$200

**APPENDIX J: DESIGN REVIEW COMMITTEE**

*Request for Project Completion Review*

Date: \_\_\_\_\_ Homesite \_\_\_\_\_

Requested by: \_\_\_\_\_ Phone: \_\_\_\_\_

Owner: \_\_\_\_\_ Phone: \_\_\_\_\_

Architect: \_\_\_\_\_ Phone: \_\_\_\_\_

Date of Occupancy Permit Inspection: \_\_\_\_\_

Notice Date: \_\_\_\_\_

NOTICE TO OWNER:

*Following your request for Project Completion Review, the Committee feels that your final building and site construction:*

( ) Conforms to the plans and specifications approved in your final submittal. Please find enclosed your \$2,000.00 deposit.

( ) Does not conform to the plans and specifications approved in your final submittal.

Additional inspections will be made for \$75.00 each.

Signed: \_\_\_\_\_

## **APPENDIX K: ADDRESS MONUMENT REQUIREMENTS**

Crosswater address signage will be of a standard type throughout the development. The signage will consist of a stone monument containing 5 brass numbers conforming to those which have been assigned by the Deschutes County Planning Department, in coordination with the Fire Protection District of La Pine.

The monument will be sited at the driveway entrance to each homesite, at an angle of 45 degrees to the direction of the street. The stone (native volcanic) shall be set upon a mound a minimum of 18" above and no more than 6 feet off the adjoining pavement. The placement is required to reduce the impact of snow removal during the winter months.

The numbers shall be of the Times Roman Font, 4 inches high and made of brushed brass. They shall be attached to the stone with mounting studs thereby achieving a level plane across the face of the stone.

The monument shall be illuminated by a low voltage "Kichler 12 volt, K15084 Verdigris, MR 16-50w/K15587", or similar, accent feature. The light shall be positioned for the sole purpose of providing light to the address monument and should not be offensive to the adjoining properties or street areas. Photocell operation is recommended.

Installation of address numbers on homes may be considered on a case by case basis. Appropriate location, number font, style, materials and colors must be submitted for approval by the Committee prior to installation.

All installations shall be approved by the Committee.



BRONZE NUMBERS ON NATIVE BOULDER

**APPENDIX L: DESIGN REVIEW COMMITTEE**

*Application for Contractor in Good Standing*

Date: \_\_\_\_\_ Homesite: \_\_\_\_\_

Requested by (Owner): \_\_\_\_\_

Owners are ultimately responsible for all construction activity on their lot. Any Committee requirements during construction will be conveyed upon the owner and any fines will be imposed against the construction deposit as noted in Section 8.

Contractor name: \_\_\_\_\_

Contractor business name: \_\_\_\_\_

Contractor CCB#: \_\_\_\_\_

Address: \_\_\_\_\_

Telephone number: \_\_\_\_\_ Cellular Phone number: \_\_\_\_\_

This form must be submitted with examples of relevant projects, including pictures, addresses and references for review by the Committee. The Committee shall have sole discretion to approve or disapprove this application. No work by this contractor may commence without permission from the Committee. A copy of current proof of appropriate insurance coverage and a copy of the Oregon contractor's license for this contractor must also be included.

**NOTICE TO OWNER:**

*Following your request to approve your Contractor to a Contractor in Good Standing in Crosswater the Committee:*

( ) Approves your request.

( ) Approves your request with the following conditions: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

( ) Disapproves your request for the following reasons: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

Signed: \_\_\_\_\_

## **APPENDIX M: ARCHITECTURAL CHARACTER**

### **THE CROSSWATER HOME**

As stated in Section 6.1 of this document, the intent of these Guidelines is to allow for flexibility of architectural expression within the given architectural framework of Crosswater. The goal is to capture the western inter-mountain character through design elements representative of the land and surrounding area. Important elements of the Design Philosophy are: function, appropriateness, harmony, natural materials, site orientation, and simplicity in detail. The follow pages contain suggestions how one might successfully execute this concept.

### **OVERVIEW**

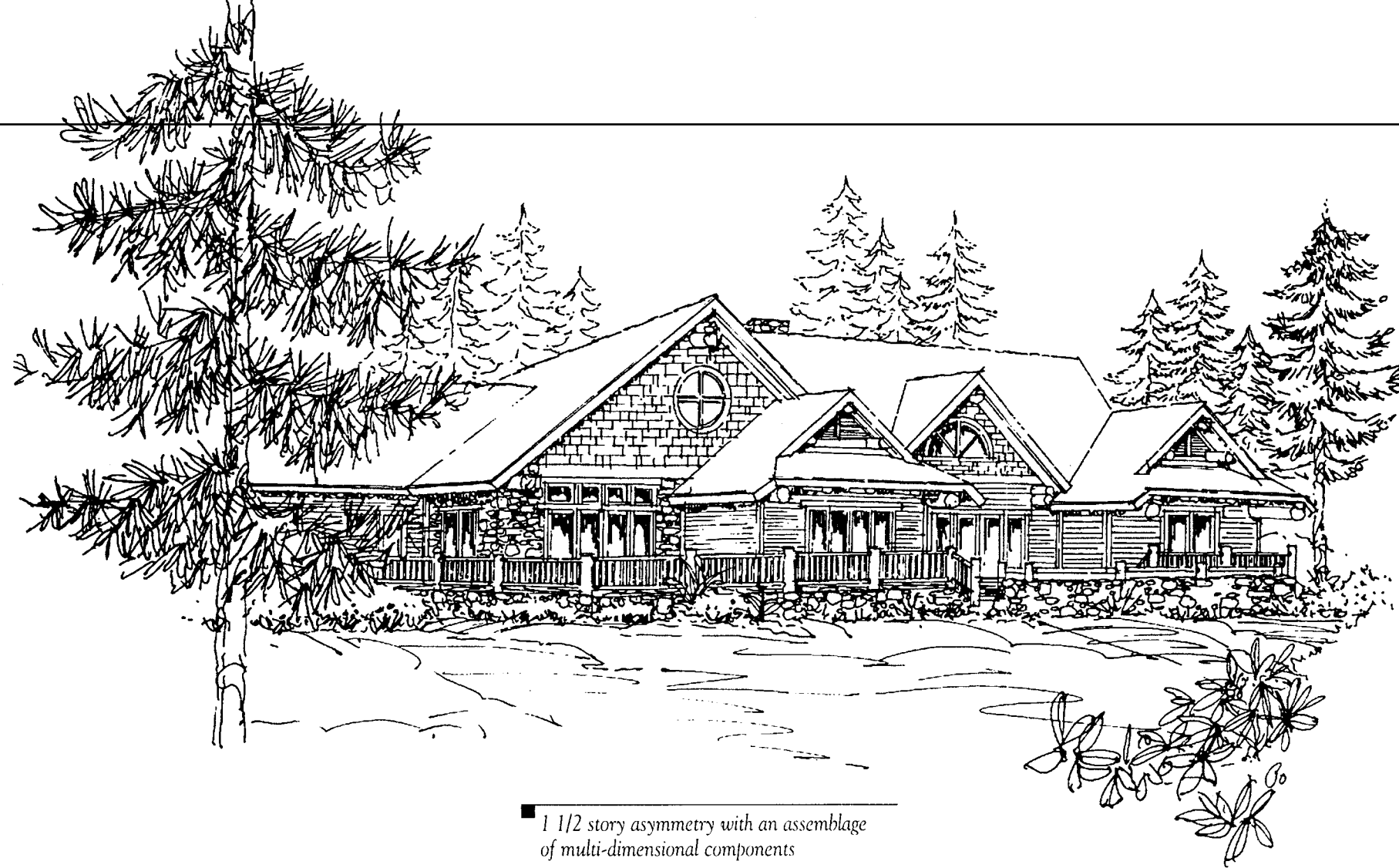
The character of the Crosswater Home is established through the application of an American tradition found in the essence of the post and beam construction methodology. This form is expressed by the massing of a series of stepping forms; large timber roof frames supporting gabled roofs; expansive covered porches and decks extending from the living areas. The buildings are recognized at a distance by large simple roof forms, often using gables and hops, siding placed in a horizontal pattern, and stone column bases, foundations and accents. The structures are a mixture of heavy timber details with natural colors and accents. Natural light is used to welcome and warm in a way that is refreshingly rugged and friendly.

### **HISTORICAL BACKGROUND**

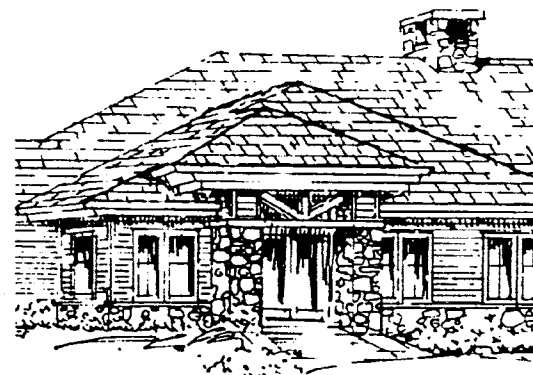
The post and beam construction methodology has its origin in the seventeenth century with the Swedish immigrants. This type of construction was adopted by American settlers from many cultures, yielding a variety of regional personalities. Through the early half of the 20th century an Architectural character was developed in public and private structures that focused on mountain and high plains building traditions that emphasized the generous use of stone, hewn timbers, shingles and board and batt materials. This style is frequently termed "Cascadian" or "High Cascades". Examples of this style are well documented in National Parks, Forest service and other regional locations. They include Crater Lake Lodge, Timberline Lodge, the Multnomah Falls guest facility and many others throughout the Cascade region.) In the West, ranch homes and working buildings utilized abundant local timer to create structures with voluminous great rooms.

## HISTORICAL BACKGROUND *(cont'd)*

Subsequently, the term “Western Mountain Home” was created. In the Northeast, architects were commissioned by wealthy Industrial Age families to design vast timber estates. Located primarily in the Catskill and Adirondack Mountains, these estates were enjoyed as retreats and summer homes. In Oregon, settlements were largely influenced by diverse terrain, climate, and the existing culture. In many areas, the architectural designs and construction methods reflected the natural resources of the region. Today, in the western mountains, timber home construction is frequently used in both primary and secondary homes.



■ 1 1/2 story asymmetry with an assemblage of multi-dimensional components



■ Series of stepping forms



■ Low broad single story base plane, symmetry within asymmetrical massing



■ Married to the ground with a look of permanence

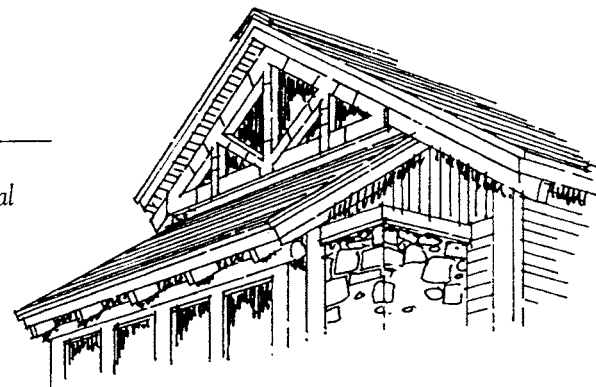
- Massing characterized by a series of stepping forms,
- Base plane or "first step" established by a low broad horizontal form,
- An assemblage of multi-dimensional components,
- Simple rectangular shaped floor plans, with the attachment of wings and ells,
- Homes at one with the land, with a look of permanence, dominance of single story massing,
- 65% of the square footage is on the first floor, 35% is on the second floor.



■ Combination of shed, gabled & hipped roofs, and long horizontal ridge lines broken by gabled projections

- Large timber roof frames, supporting simple gabled roofs,
- Long horizontal ridge lines,
- Limited use of shed and hipped roofs,
- Use of side gabled, front gabled and crossing gables, roof pitches ranging from 30-45 degrees, (4:12-12:12,)
- Raised roof ridge vents,
- Windows and dormers located in gabled and shed configurations,
- Masses are punctuated by dormers for accent,
- Deepened or extended overhangs and eaves,
- Boxy eaves and fascias, particularly on lower pitched roofs.

■ Glazing incorporated into exposed structural detailing



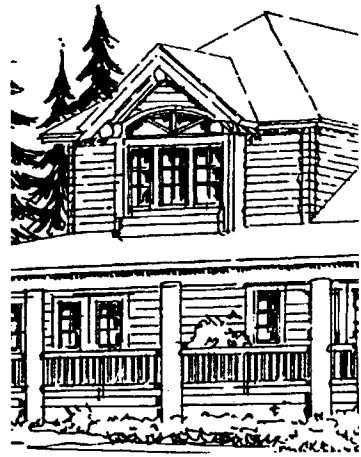
■ Roof lines punctuated by dormers



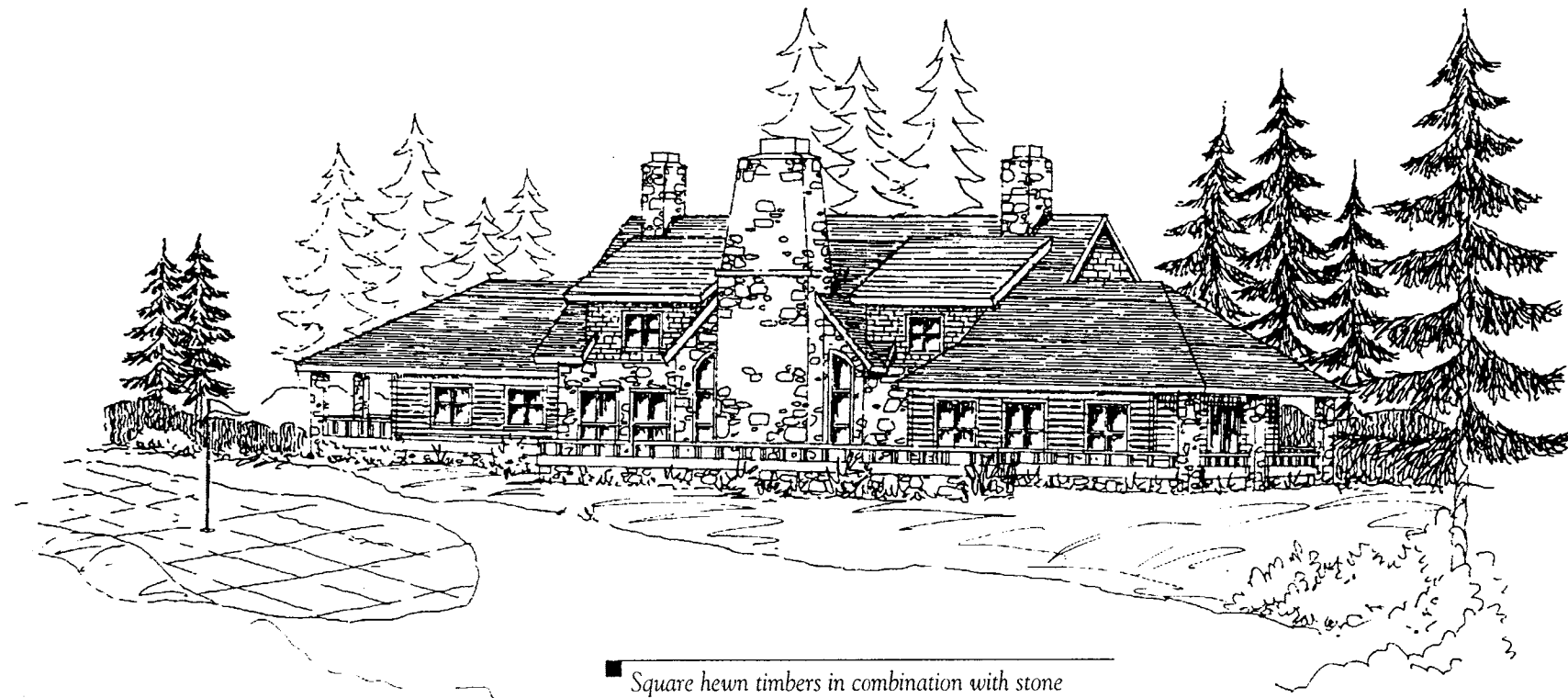
■ Side, front & crossing gables with boxy fascias & eaves raised roof vent at ridge



■ Deepened eaves



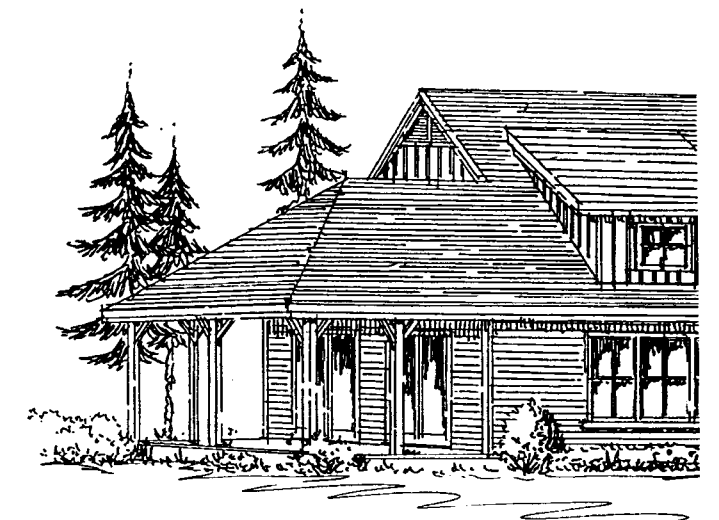
Log style timbers with flat end cuts



Square hewn timbers in combination with stone

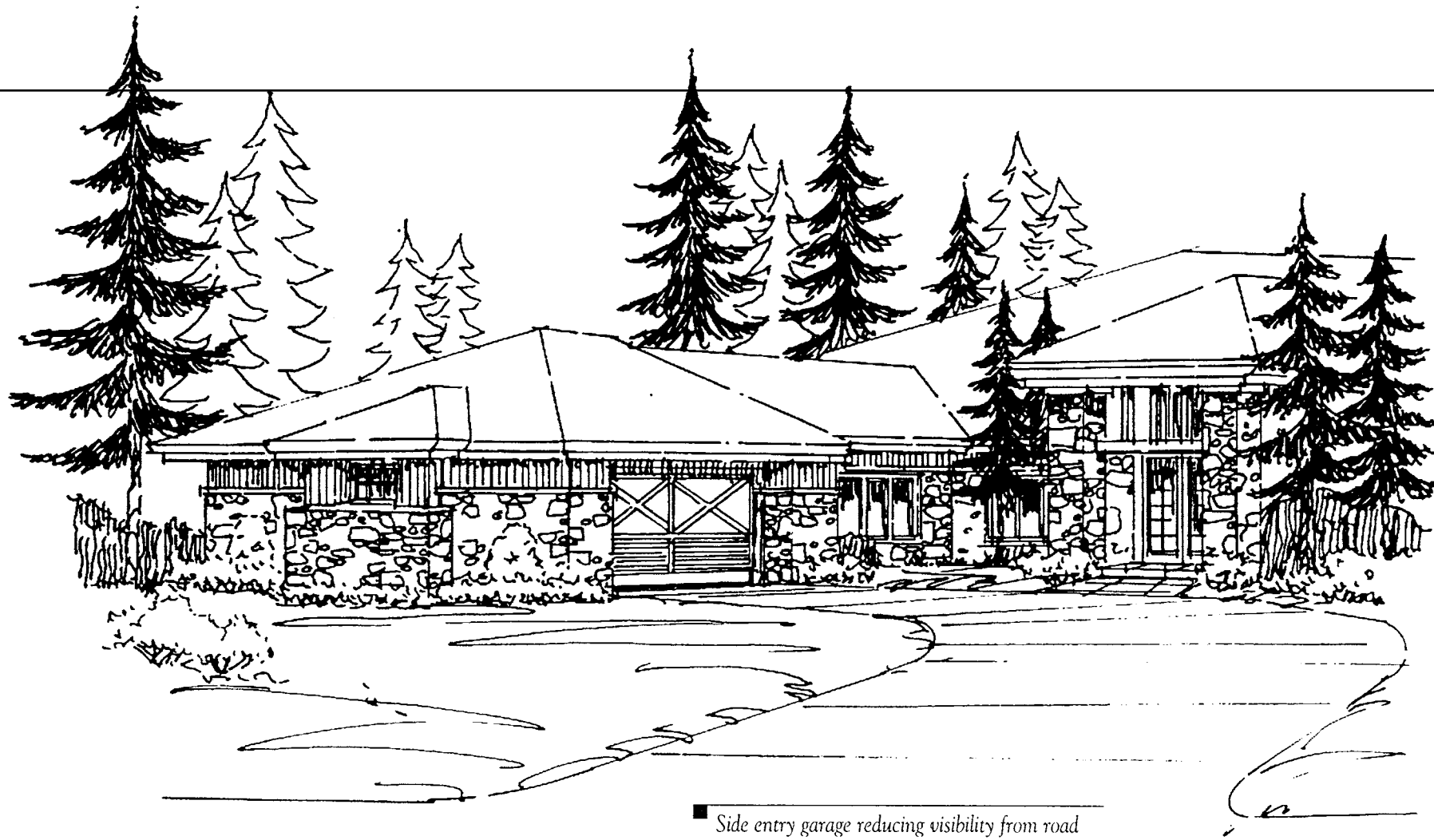


Strong horizontal material patterns with exposed structural beams



Vertical siding accents at gabled end walls and dormers

- Strong horizontal or linear patterns
- Tongue & groove, lapped, and board & batten siding,
- Square hewn or planed timbers,
- Round finished timbers with flat cut ends,
- Exposed structural beams and trusses,
- Vertical siding as an accent, at the top of gabled walls,
- Accent walls are often built of differing materials, such as quarried stone and rock.



■ Side entry garage reducing visibility from road



■ Enhanced entry element focal point, windows & transom surround entry door

### DOORWAYS

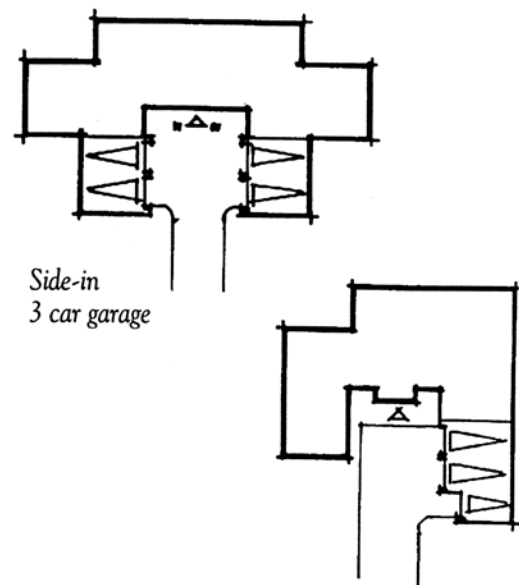
- Highly visible primary entrance, as focal point of front elevation,
- Distinctive custom artwork and craftsmanship on the door panels and surrounding door frame.

### WINDOWS

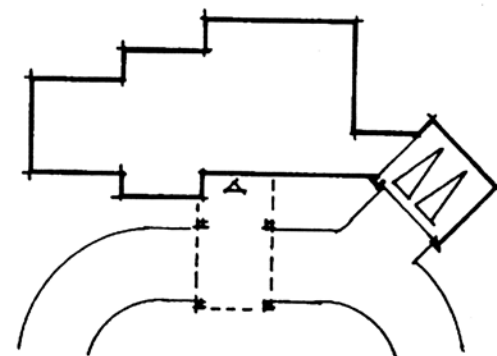
- A balanced distribution across the facade,
- Decorative treatments around each window,
- Larger sheets of glazing for south facing,
- Larger first floor windows.

### GARAGES

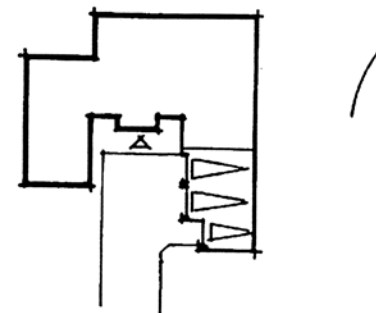
- Low visibility from the approaching driveway or road,
- Garage doors not directly oriented to the adjoining neighbors property, turned away from the front elevation, side or angled entry, as well as detached.



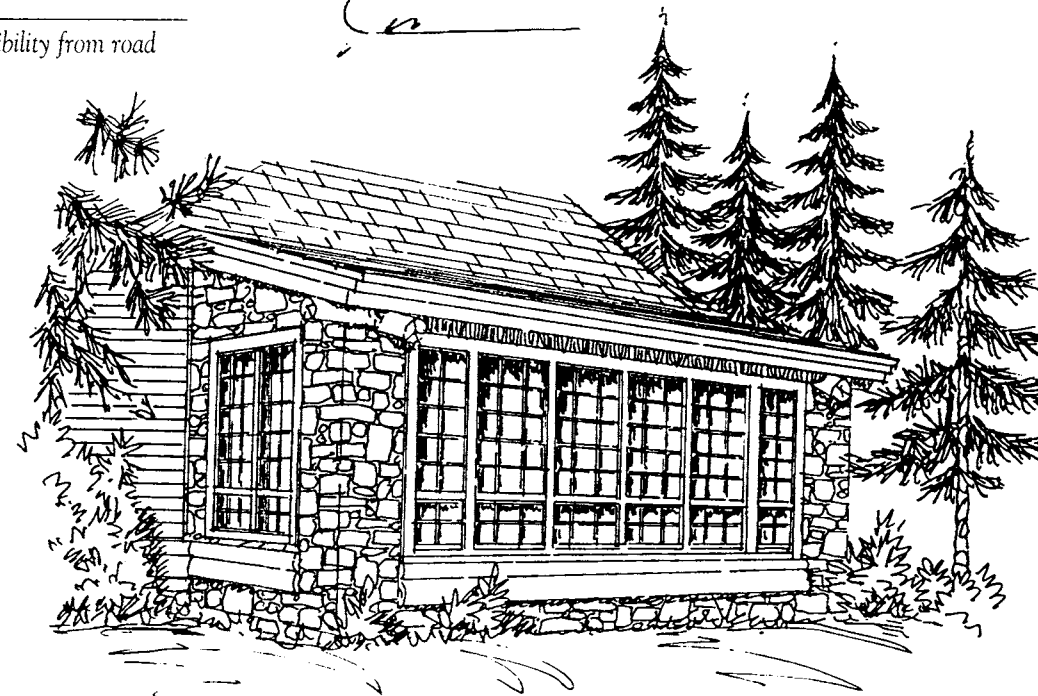
Side-in 3 car garage



Motor court



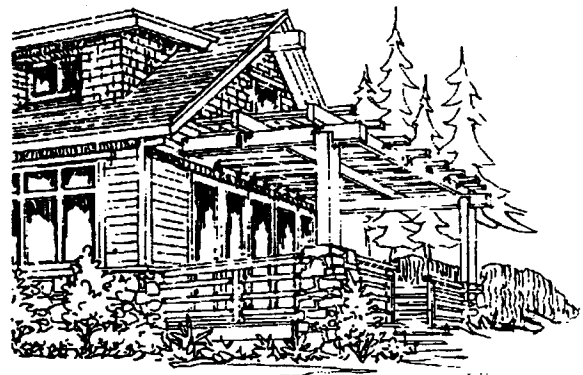
Angled garage & porte-cochere



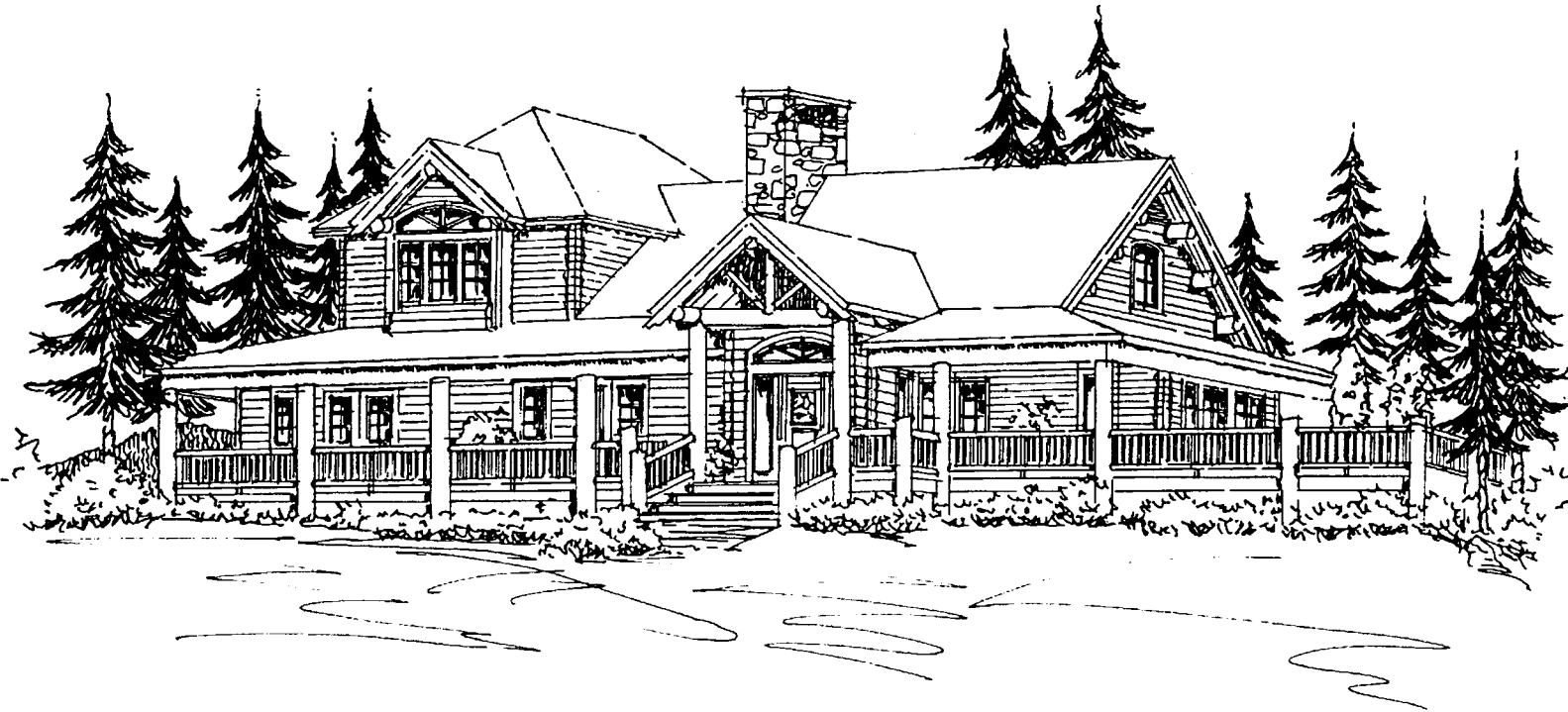
■ Large south facing glass



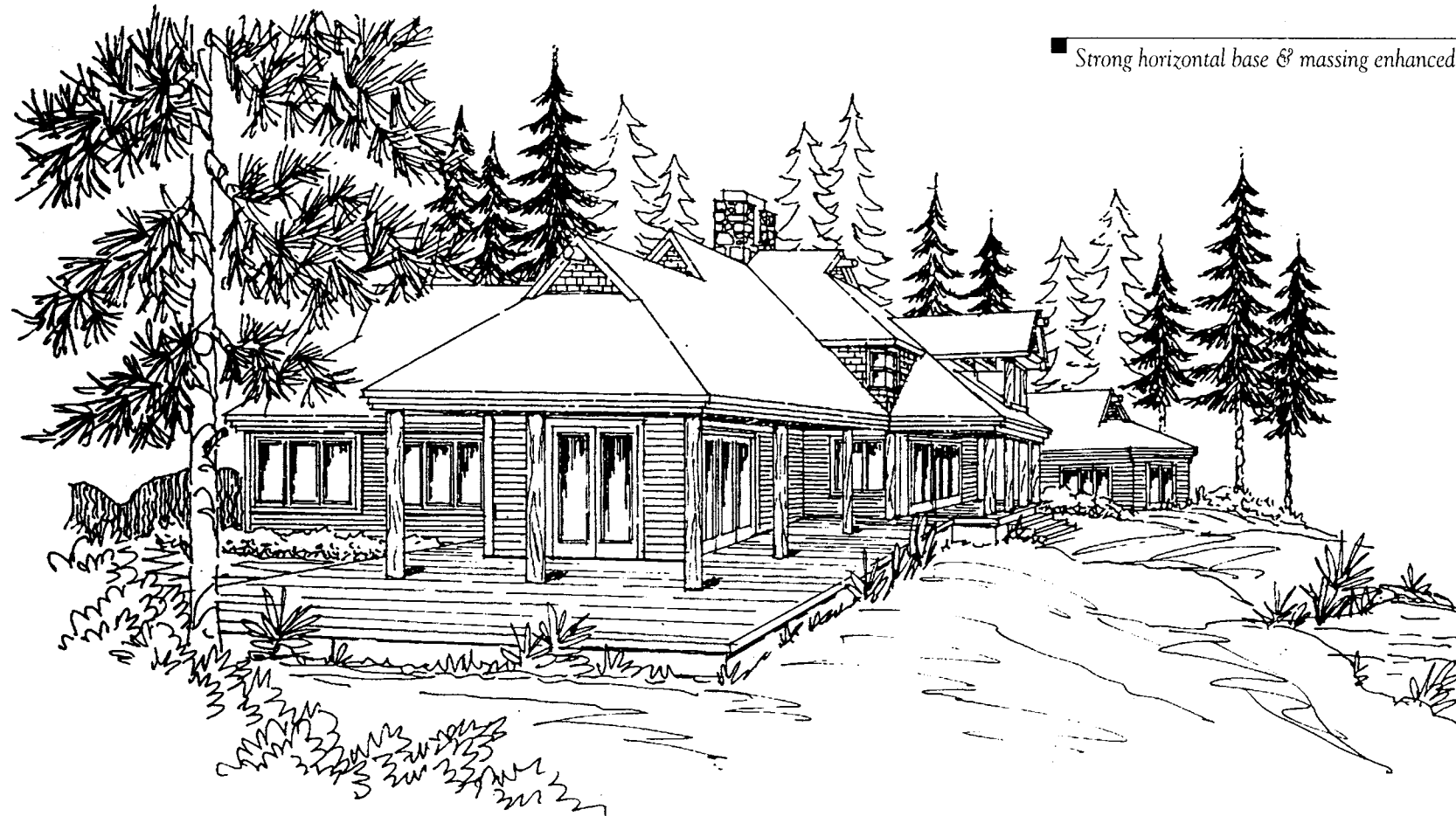
■ Custom artwork incorporated in the entry door



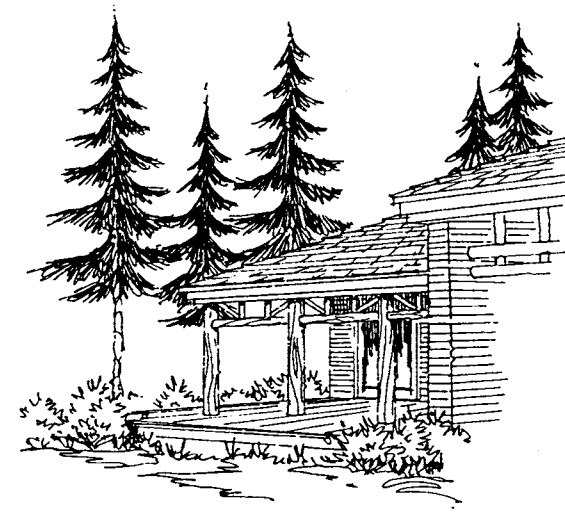
■ Raised trellised porch



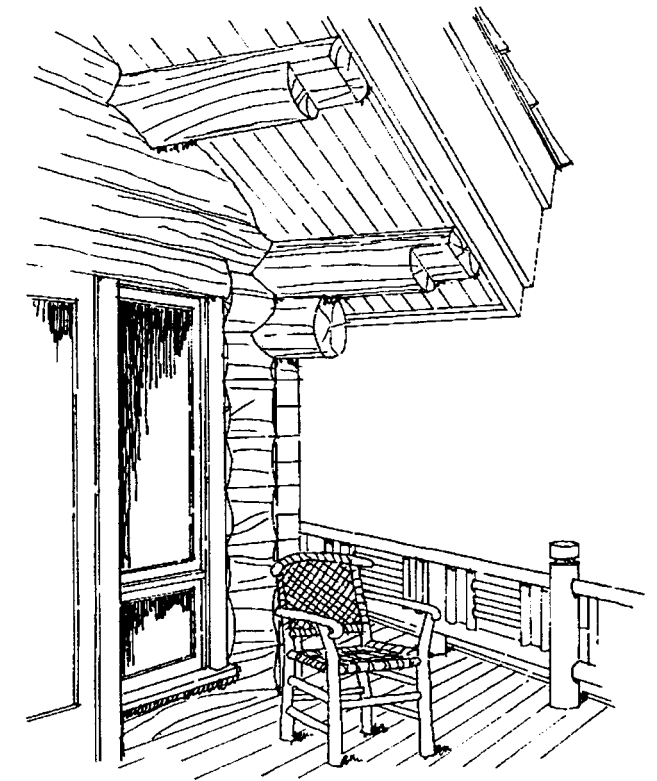
■ Strong horizontal base & massing enhanced by hand-crafted details



■ Porch as an outdoor extension of internal living spaces



■ Vertical & horizontal porch detailing

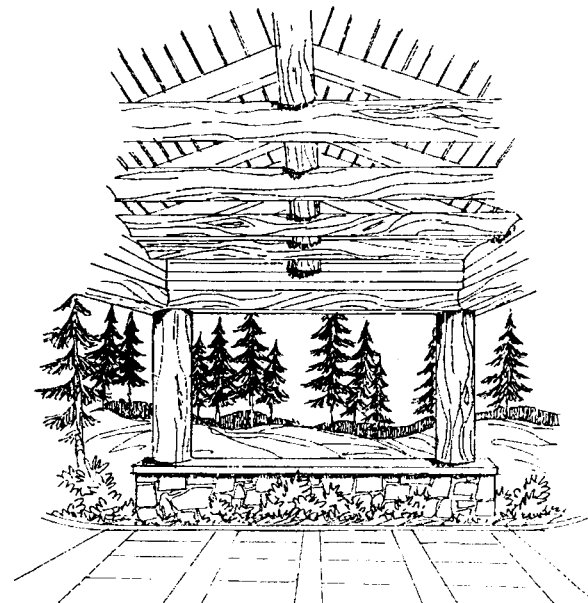


■ Log porch detailing

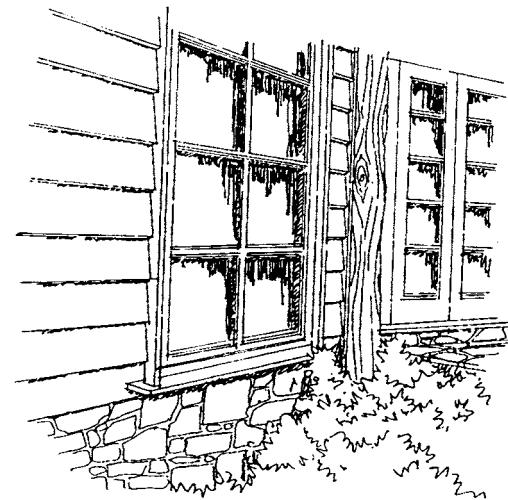
- Limitless opportunities to express individual style,
- Strong horizontal base, with ground hugging massing,
- Sequence of enhanced entry elements, including steps up to a raised porch area and unique door panel with side-lights,
- Outdoor extensions of the interior living areas,
- Incorporation of hand-crafted artistic elements in the vertical and horizontal components,
- Porch railings/balustrades incorporated using handcrafted or refined detailing.



Variety of timber detailing

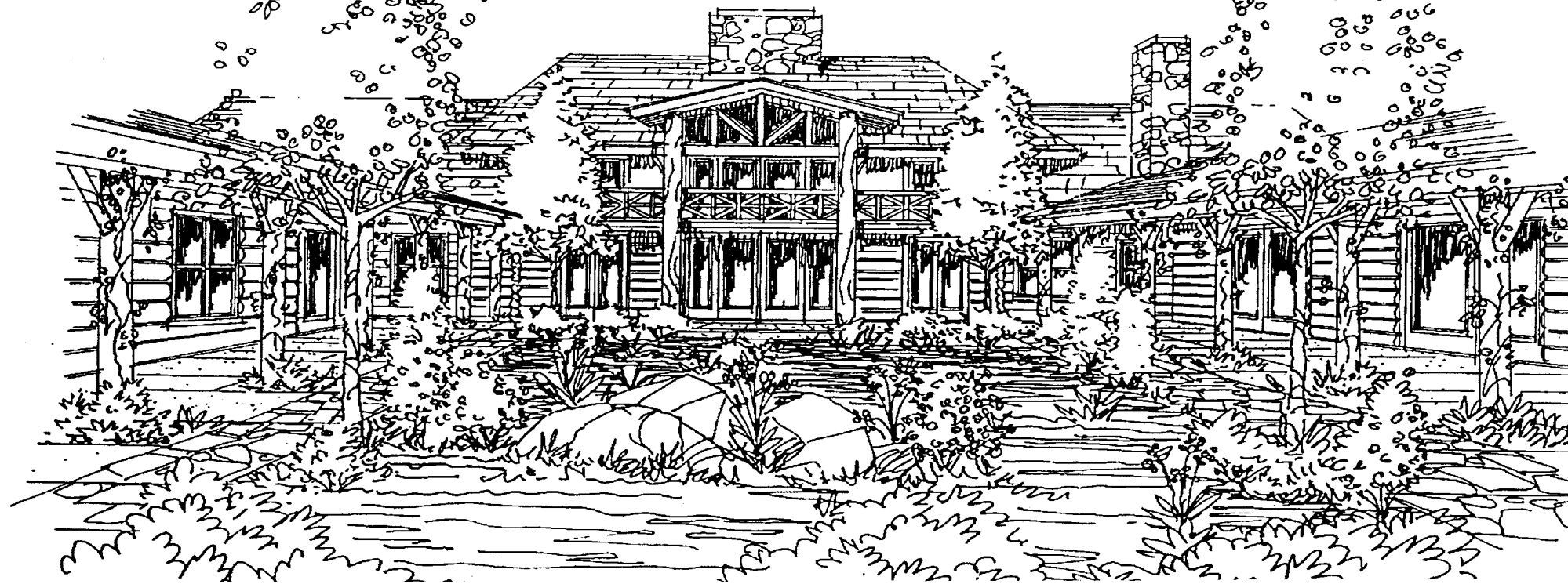


Contemporary log adaptation

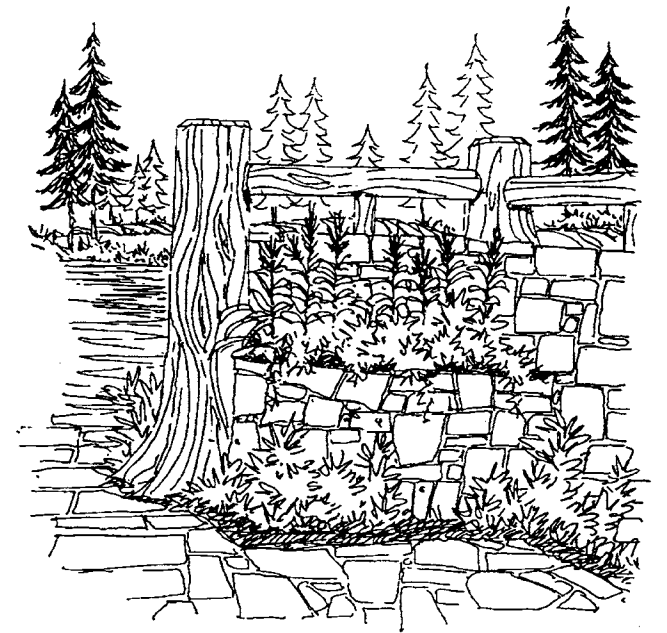


Lapped siding with stone base

- Siding colors are lighter than the roof color,
- Colors ranging from light tan (bleached) to natural gray, taupe and tan stained logs,
- Use of local indigenous colors; such as the rust of the Ponderosa pines and the weathered tones of Lodgepole pines,
- Off-white and rich natural colors to accent rich earth tones,
- Combinations of stone, and wood siding, effectively create a subtle change of color and tone,
- Variety of materials, including wood shake shingles and flat concrete tile.



Material combinations of stone, log & siding



Organic landscape elements